

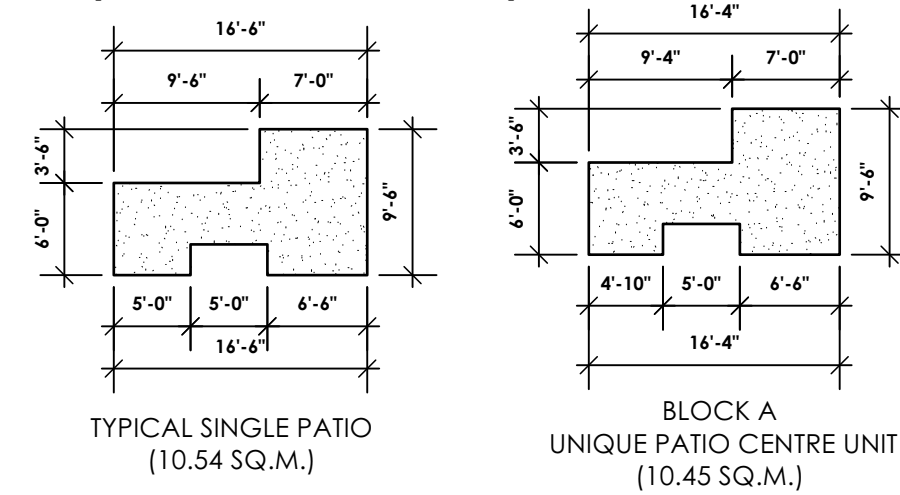
**SKETCH PLAN OF PROPOSED BARE LAND STRATA PLAN OF LOT 6,  
SECTION 84, ESQUIMALT DISTRICT, PLAN 22027.**

**NOTE:**  
 Approving Authority and engineering requirements may dictate change to this lot layout or lot yield.  
 Lot dimensions, offsets, and areas shown may vary upon completion of a comprehensive legal survey.  
 This plan is for application purposes only and is for the exclusive use of our client.  
 This plan shall not be used to define property lines or property corners.  
 Unregistered interests have not been included or considered.  
 Existing structures to be removed.  
 Field survey dated August 5, 2022.  
 Field survey for orange flags & south easterly property line dated October 14, 2022.  
 PID: 003-290-182  
 Building envelopes must be approved by Approving Authorities prior to reliance.  
 Base Image derived from CRD Web Site

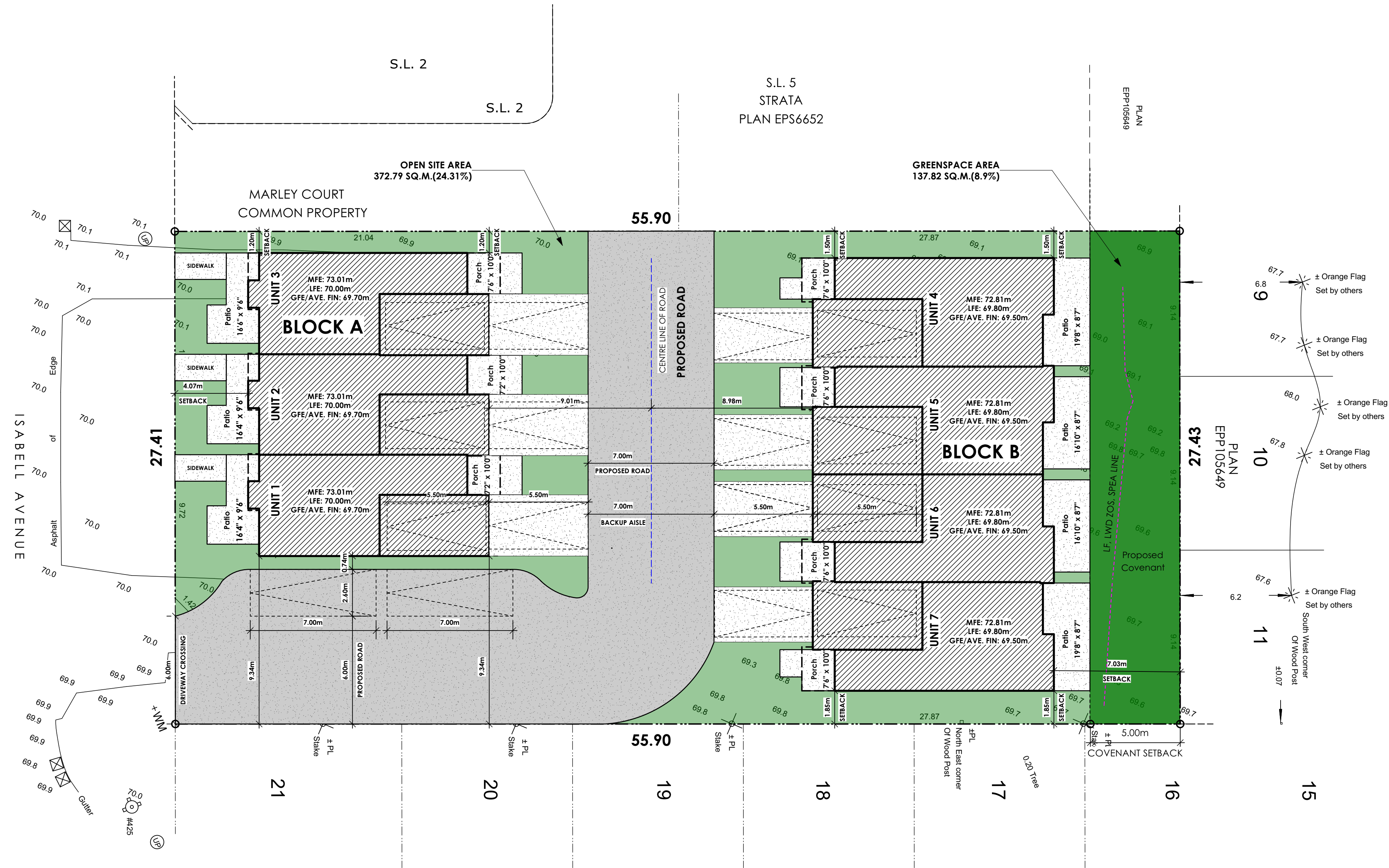
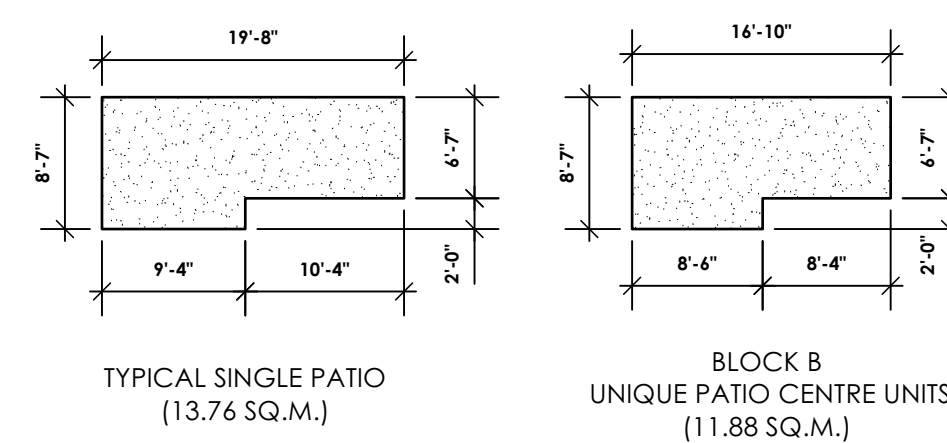
SITE DATA	REZONE TO RT1	
ITEMS	PERMITTED	PROPOSED
LOT AREA PROPOSED		1532.89
OPEN SITE AREA		20.80 %
PROPOSED GREENSPACE %		8.12 %
PROPOSED GREENSPACE SQ.M.		124.57 sq.m.
LOT COVERAGE	60.00 %	34.67 %
BUILDING HEIGHT	3 STORIES	2 STORIES
SETBACKS		
-NORTH (REAR)	5.50 m.	7.03 m.
-SOUTH (FRONT)	3.00 m.	4.07 m.
-EAST (INTERIOR)	1.20 m.	1.85 m.
-WEST (INTERIOR)	1.20 m.	1.20 m.
PROPOSED FLOOR AREA FOR 7 DWELLINGS		
- BLOCK A - UPPER		216.09 sq.m.
- BLOCK A - LOWER		142.02 sq.m.
- BLOCK B - UPPER		309.26 sq.m.
- BLOCK B - LOWER		205.05 sq.m.
TOTAL GROSS FLOOR AREA		895.76 sq.m.
TOTAL GARAGE AREAS ALL BLOCKS		135.05 sq.m.
F.A.R.	0.5 TO 1.0	<b>*0.58 TO 1.0</b>

**\*INDICATES VARIANCE IS REQUIRED**  
**PARKING CALCULATION:**  
 7 DWELLING UNITS: 2 STALLS PER UNIT = 14 PARKING STALLS REQUIRED  
 VISITOR PARKING: 2 STALLS REQUIRED  
 PROPOSED: 2 STALLS PER UNIT = 14 PARKING STALLS  
 2 STALLS TOTAL  
 OPEN SITE REQUIREMENTS:  
 PROVIDE ONE 10 SQ.M. CONCRETE PATIO FOR AN AMENITY SPACE AT THE REAR  
 OF EACH DWELLING UNIT; 3 METRE MINIMUM DIMENSION

**BLOCK A - PRIVATE OPEN SPACES  
(CONCRETE PATIO @ FRONT)**



**BLOCK B - PRIVATE OPEN SPACES  
(CONCRETE PATIO @ REAR)**



**1 Site Plan - Proposed**  
 Scale: 1:150

Date  
 August 12, 2024

Project Address  
 946 Isabell Avenue  
 Langford, BC

Prepared for  
 Khataw Developments

Project #  
 8870

Scale  
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 MIS

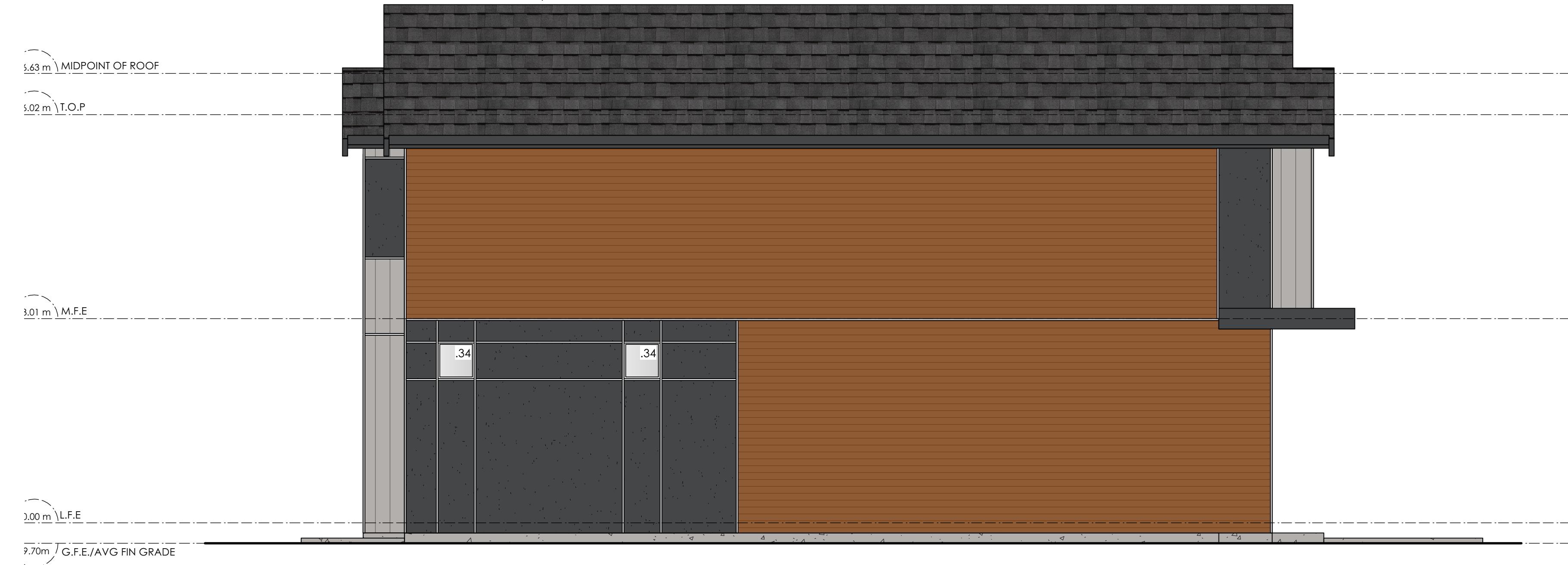
**Proposed Rezoning - 946 Isabell Ave**





2 **Front Elevation**  
Scale: 1/4" = 1'-0"

ROOF		BLACK SHINGLE
SOFFIT		IRON ORE (OR SIMILAR)
DOWNSPOUTS		IRON ORE (OR SIMILAR)
GUTTER		IRON ORE (OR SIMILAR)
TRIMBOARDS		BENJAMIN MOORE - GRAPHITE (OR SIMILAR)
PANEL SIDING		LONGBOARD CLADDING - WESTERN CEDAR (OR SIMILAR)
PANEL SIDING		CONCRETE FIBRE PANEL - GRAPHITE (OR SIMILAR)
METAL SIDING		VERTICAL METAL SIDING - LIGHT GREY (OR SIMILAR)
DOORS		CEDAR GEL STAIN (OR SIMILAR)
CONCRETE		GREY



3 **Right Side Elevation**  
Scale: 1/4" = 1'-0"

Limiting Distance	9.34	m.
Exposed Building Face	89.03	sq.m.
Allowable Openings	70.00	%
Allowable Opening Area	62.32	sq.m.
Proposed Openings	0.68	sq.m.

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# Proposed Rezoning - 946 Isabell Ave



4 **Rear Elevation**  
Scale: 1/4" = 1'-0"

Limiting Distance	9.01	m.
Exposed Building Face	111.32	sq.m.
Allowable Openings	34.00	%
Allowable Opening Area	37.85	sq.m.
Proposed Openings	36.36	sq.m.

ROOF	BLACK SHINGLE
SOFFIT	IRON ORE (OR SIMILAR)
DOWNSPOUTS	IRON ORE (OR SIMILAR)
GUTTER	IRON ORE (OR SIMILAR)
TRIMBOARDS	BENJAMIN MOORE - GRAPHITE (OR SIMILAR)
PANEL SIDING	LONGBOARD CLADDING - WESTERN CEDAR (OR SIMILAR)
PANEL SIDING	CONCRETE FIBRE PANEL - GRAPHITE (OR SIMILAR)
METAL SIDING	VERTICAL METAL SIDING - LIGHT GREY (OR SIMILAR)
DOORS	CEDAR GEL STAIN (OR SIMILAR)
CONCRETE	GREY



5 **Left Side Elevation**  
Scale: 1/4" = 1'-0"

Limiting Distance	1.20	m.
Exposed Building Face	88.96	sq.m.
Allowable Openings	7.00	%
Allowable Opening Area	6.23	sq.m.
Proposed Openings	1.72	sq.m.

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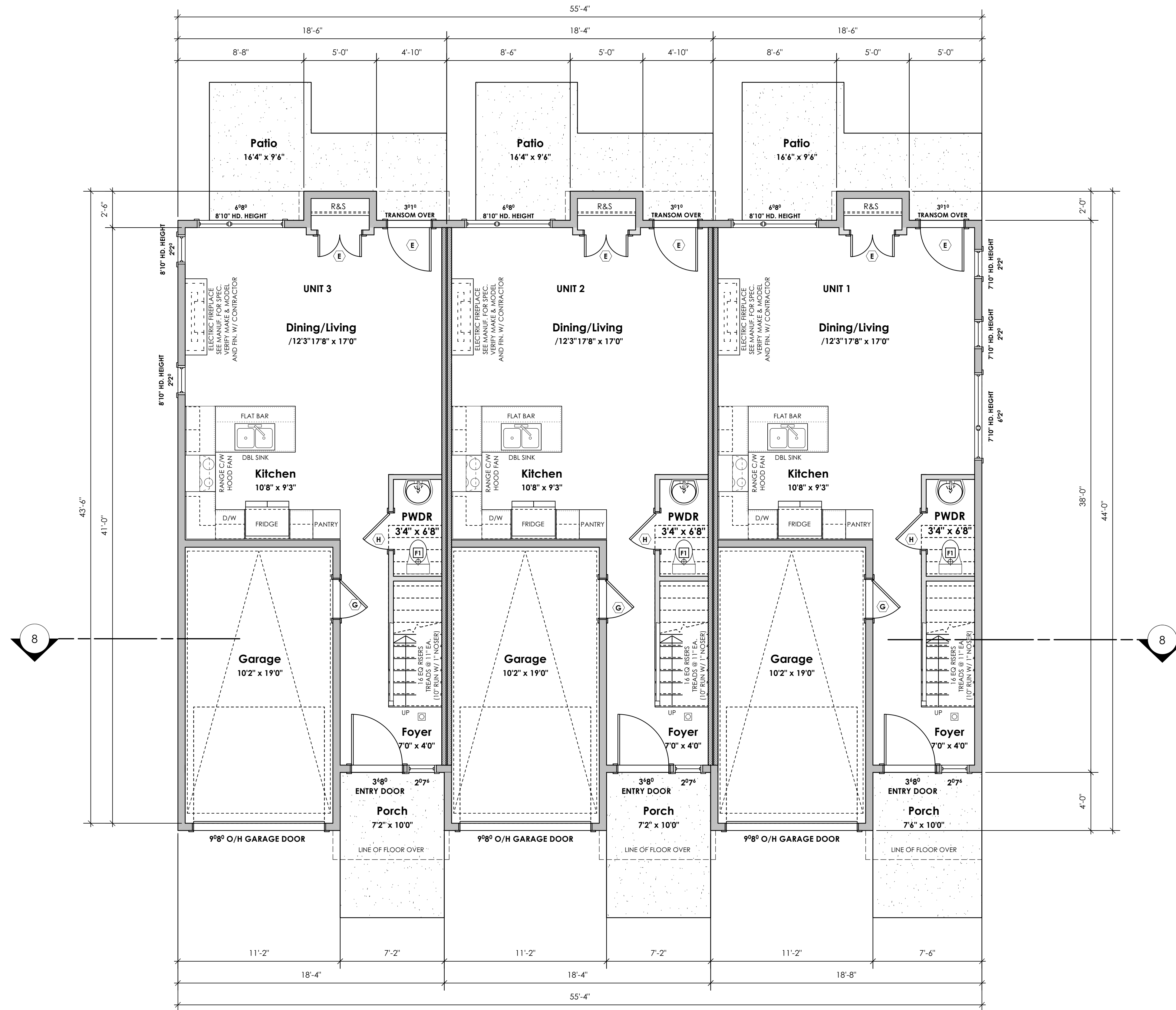
**Scale**

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**Proposed Rezoning - 946 Isabell Ave**



6 **Triplex - Main Floor Plan**  
Scale: 1/4" = 1'-0"

FLOOR AREAS FOR MUNICIPAL BYLAWS:

UNIT 3: 508.67 ft <sup>2</sup> (47.26 m <sup>2</sup> )	UNIT 3 - GARAGE: 193.17 ft <sup>2</sup> (17.95 m <sup>2</sup> )
UNIT 2: 515.83 ft <sup>2</sup> (47.92 m <sup>2</sup> )	UNIT 2 - GARAGE: 193.17 ft <sup>2</sup> (17.95 m <sup>2</sup> )
UNIT 1: 504.17 ft <sup>2</sup> (46.84 m <sup>2</sup> )	UNIT 1 - GARAGE: 193.17 ft <sup>2</sup> (17.95 m <sup>2</sup> )
<b>TOTAL: 1528.67 ft<sup>2</sup> (142.02 m<sup>2</sup>)</b>	<b>TOTAL: 579.51 ft<sup>2</sup> (53.85 m<sup>2</sup>)</b>

BUILDING AREAS FOR CONSTRUCTION:

UNIT 3: 534.33 ft <sup>2</sup> (49.61 m <sup>2</sup> )	UNIT 1 - GARAGE: 223.33 ft <sup>2</sup> (20.75 m <sup>2</sup> )
UNIT 2: 530.67 ft <sup>2</sup> (49.30 m <sup>2</sup> )	UNIT 2 - GARAGE: 220.67 ft <sup>2</sup> (20.50 m <sup>2</sup> )
UNIT 1: 537.67 ft <sup>2</sup> (49.95 m <sup>2</sup> )	UNIT 3 - GARAGE: 220.67 ft <sup>2</sup> (20.50 m <sup>2</sup> )
<b>TOTAL: 1602.67 ft<sup>2</sup> (158.86 m<sup>2</sup>)</b>	<b>TOTAL: 664.67 ft<sup>2</sup> (61.75 m<sup>2</sup>)</b>

DOOR SCHEDULE

(A)	8'0" X 6'8" (96" X 80")	(G)	2'8" X 6'8" (32" X 80")
(B)	6'0" X 6'8" (72" X 80")	(H)	2'6" X 6'8" (30" X 80")
(C)	5'0" X 6'8" (60" X 80")	(J)	2'4" X 6'8" (28" X 80")
(D)	4'0" X 6'8" (48" X 80")	(K)	2'0" X 6'8" (24" X 80")
(E)	3'0" X 6'8" (36" X 80")	(L)	1'6" X 6'8" (18" X 80")

Date

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**Proposed Rezoning - 946 Isabell Ave**





**7** Triplex - Upper Floor Plan  
Scale: 1/4" = 1'-0"

FLOOR AREAS FOR MUNICIPAL BYLAWS:

UNIT 3: 770.76 ff<sup>2</sup> (71.61 m<sup>2</sup>)  
UNIT 2: 784.50 ff<sup>2</sup> (72.88 m<sup>2</sup>)  
UNIT 1: 770.67 ff<sup>2</sup> (71.60 m<sup>2</sup>)  
TOTAL: 2325.93 ff<sup>2</sup> (216.09 m<sup>2</sup>)

BUILDING AREAS FOR CONSTRUCTION:

UNIT 3: 813.71 ff<sup>2</sup> (75.60 m<sup>2</sup>)  
UNIT 2: 806.78 ff<sup>2</sup> (74.95 m<sup>2</sup>)  
UNIT 1: 813.75 ff<sup>2</sup> (75.60 m<sup>2</sup>)  
TOTAL: 2434.24 ff<sup>2</sup> (226.15 m<sup>2</sup>)

DOOR SCHEDULE

- |                              |                             |
|------------------------------|-----------------------------|
| (A) 8'0" X 6'8" (96" X 80")  | (G) 2'8" X 6'8" (32" X 80") |
| (B) 6'0" X 6'8" (72" X 80")  | (H) 2'6" X 6'8" (30" X 80") |
| (C) 5'0" X 6'8" (60" X 80")  | (J) 2'4" X 6'8" (28" X 80") |
| (D) 4'0" X 6'8" (48" X 80")  | (K) 2'0" X 6'8" (24" X 80") |
| (E) 3'0" X 6'8" (36" X 80")  | (L) 1'6" X 6'8" (18" X 80") |
| (F) 2'10" X 6'8" (34" X 80") |                             |

Date

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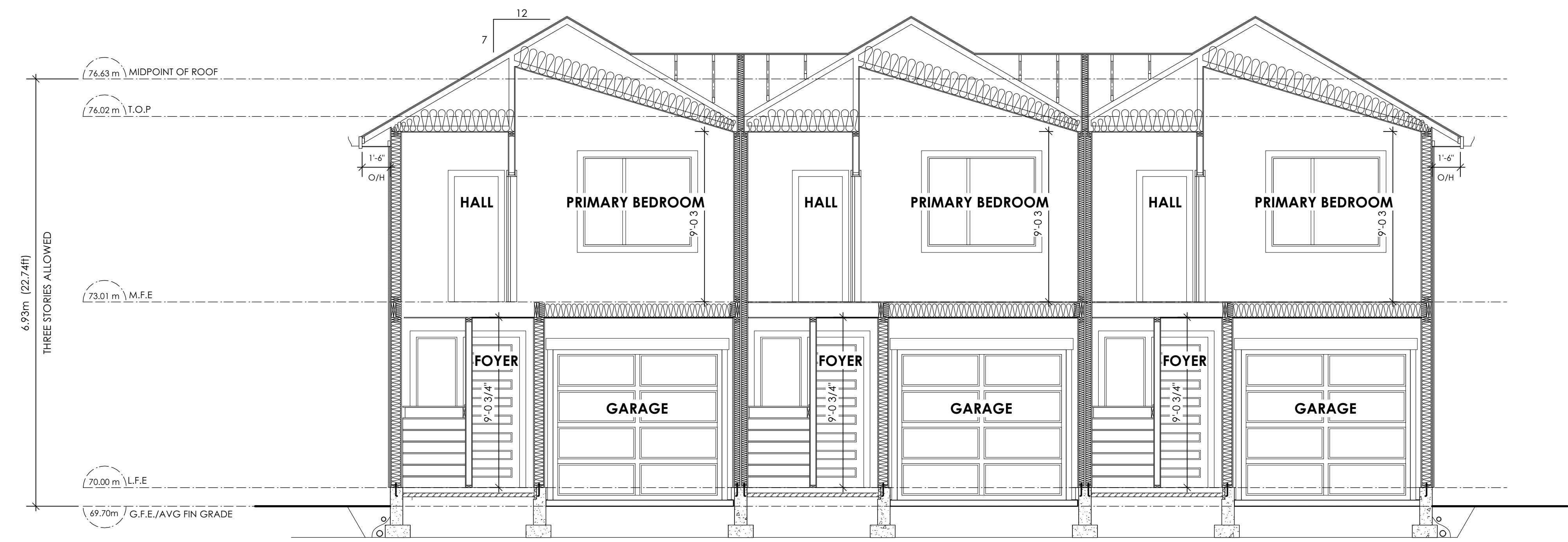
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**Proposed Rezoning - 946 Isabell Ave**



8 Triplex Section (Block A)

Scale: 1/4" = 1'-0"  
ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER.  
STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR  
AND INTERIOR WALL BRACING TO RESIST LATERAL LOADS IN COMPLIANCE  
WITH B.C. BUILDING CODE 9.23.13 AND SUPPLY DETAILS IF REQUIRED

Date

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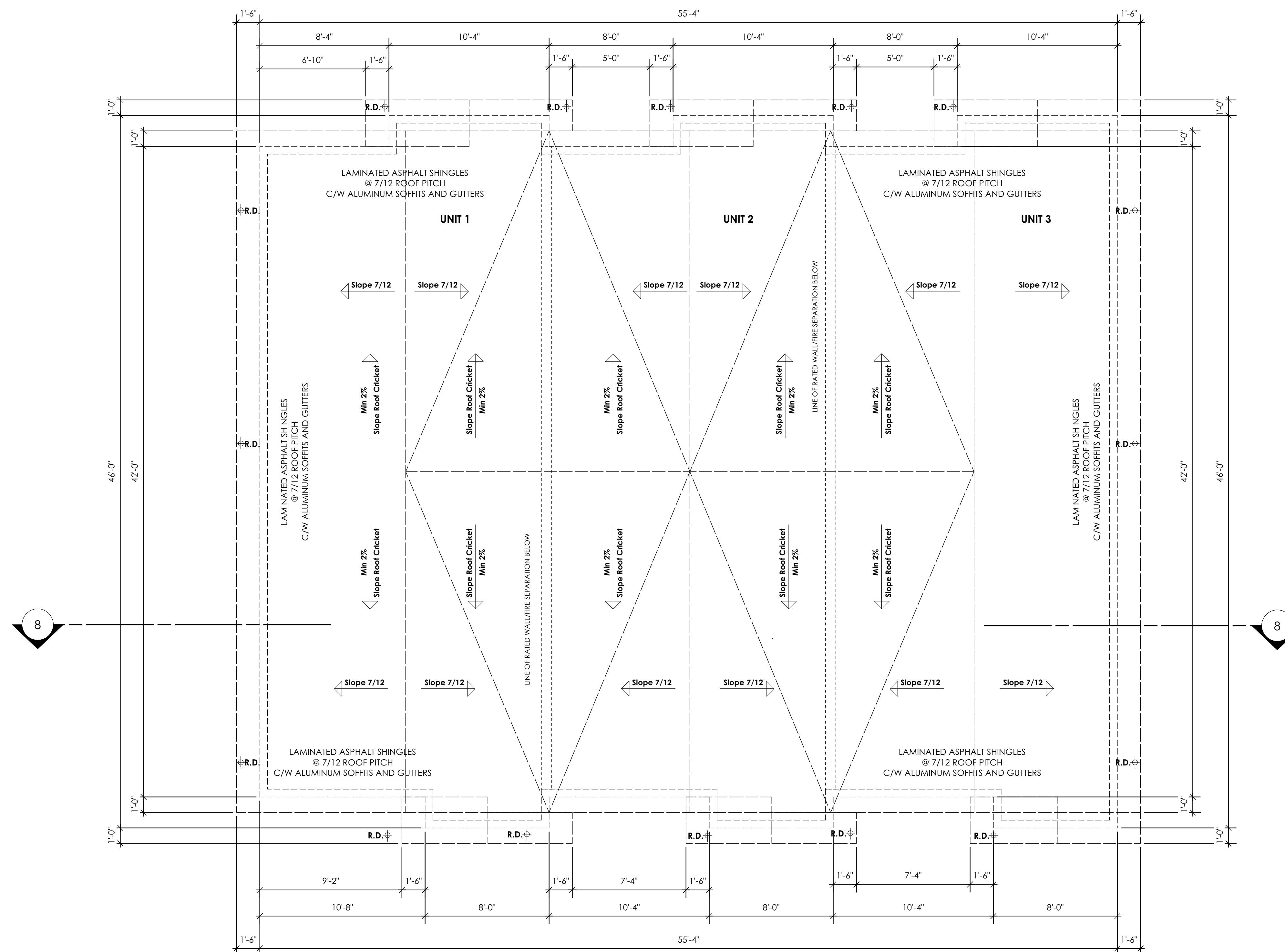
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9 Triplex Roof Plan  
Scale: 1/4" = 1'-0"

**ROOF DRAINAGE:**

VERIFY PLACEMENT OF ROOF DRAINS (R.D.) AND RAIN WATER LEADERS (R.W.L.) PRIOR TO STARTING WORK. ROOF DRAIN PLACEMENT, SIZE, AND CONNECTIONS TO COMPLY W/ BCBC 5.6.2.2 & 9.26.18

**OVERFLOW SCUPPERS:**

ROOFING SUB TRADE TO PROVIDE ADEQUATE OVERFLOW SCUPPERS ON ROOF PARAPET WALLS AND ROOF DECK PARAPET WALLS. VERIFY NUMBER REQUIRED AND LOCATION ON SITE.

**ROOF SLOPE:**

ENSURE ADEQUATE ROOF SLOPE WITH SUB-TRADE/CONTRACTOR PRIOR TO STARTING WORK. TRUSS MANUFACTURER TO FABRICATE MIN 2% SLOPE TO DRAINS ON "FLAT" PORTIONS OF ROOF TO COMPLY W/ BCBC 9.26.3.1. (SEE MANUFACTURER FOR SPECIFICATIONS AND INSTALLATION INSTRUCTIONS FOR ROOF DRAINS)

**ROOF VENTING:**

PROVIDE ADEQUATE ROOF VENTING TO COMPLY W/ BCBC 9.19.1 - (SEE MANUFACTURER FOR SPECIFICATION AND INSTALLATION INSTRUCTIONS FOR ROOF VENTS). REVIEW AND VERIFY MECHANICAL DRAWINGS FOR SPECIFICATIONS AND LOCATIONS OF MECHANICAL EQUIPMENT, SHAFTS AND VENTS.

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Proposed Rezoning - 946 Isabell Ave





10 **Front Elevation**  
Scale: 1/4" = 1'-0"

Limiting Distance	8.98	m.
Exposed Building Face	148.08	sq.m.
Allowable Openings	34.00	%
Allowable Opening Area	50.35	sq.m.
Proposed Openings	48.48	sq.m.

ROOF	BLACK SHINGLE
SOFFIT	IRON ORE (OR SIMILAR)
DOWNSPOUTS	IRON ORE (OR SIMILAR)
GUTTER	IRON ORE (OR SIMILAR)
TRIMBOARDS	BENJAMIN MOORE - GRAPHITE (OR SIMILAR)
PANEL SIDING	LONGBOARD CLADDING - WESTERN CEDAR (OR SIMILAR)
PANEL SIDING	CONCRETE FIBRE PANEL - GRAPHITE (OR SIMILAR)
METAL SIDING	VERTICAL METAL SIDING - LIGHT GREY (OR SIMILAR)
DOORS	CEDAR GEL STAIN (OR SIMILAR)
CONCRETE	GREY



11 **Right Side Elevation**  
Scale: 1/4" = 1'-0"

Limiting Distance	1.85	m.
Exposed Building Face	89.03	sq.m.
Allowable Openings	8.50	%
Allowable Opening Area	7.57	sq.m.
Proposed Openings	0.68	sq.m.

**Date**  
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Langford, BC

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# Proposed Rezoning - 946 Isabell Ave

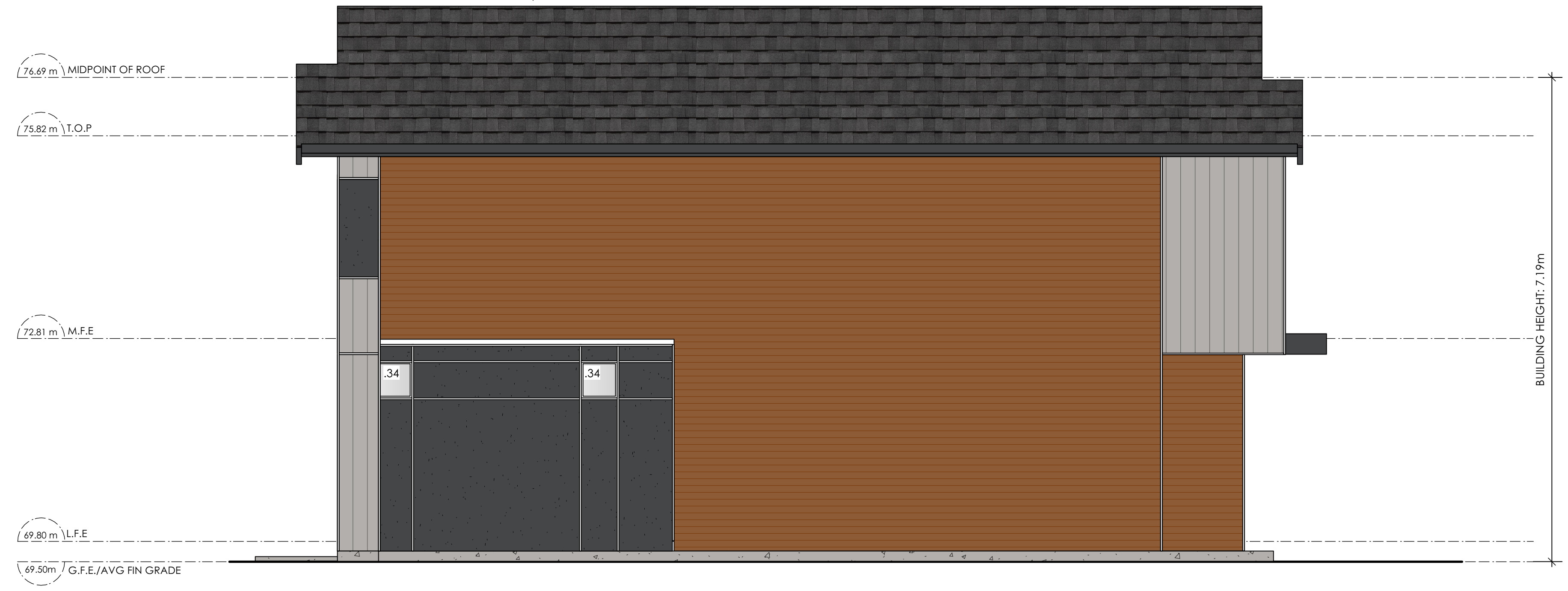




12 **Rear Elevation**  
Scale: 1/4" = 1'-0"

Limiting Distance	7.01	m.
Exposed Building Face	148.08	sq.m.
Allowable Openings	45.00	%
Allowable Opening Area	66.63	sq.m.
Proposed Openings	52.60	sq.m.

ROOF	BLACK SHINGLE
SOFFIT	IRON ORE (OR SIMILAR)
DOWNSPOUTS	IRON ORE (OR SIMILAR)
GUTTER	IRON ORE (OR SIMILAR)
TRIMBOARDS	BENJAMIN MOORE - GRAPHITE (OR SIMILAR)
PANEL SIDING	LONGBOARD CLADDING - WESTERN CEDAR (OR SIMILAR)
PANEL SIDING	CONCRETE FIBRE PANEL - GRAPHITE (OR SIMILAR)
METAL SIDING	VERTICAL METAL SIDING - LIGHT GREY (OR SIMILAR)
DOORS	CEDAR GEL STAIN (OR SIMILAR)
CONCRETE	GREY



13 **Left Side Elevation**  
Scale: 1/4" = 1'-0"

Limiting Distance	1.50	m.
Exposed Building Face	89.03	sq.m.
Allowable Openings	7.00	%
Allowable Opening Area	6.23	sq.m.
Proposed Openings	0.68	sq.m.

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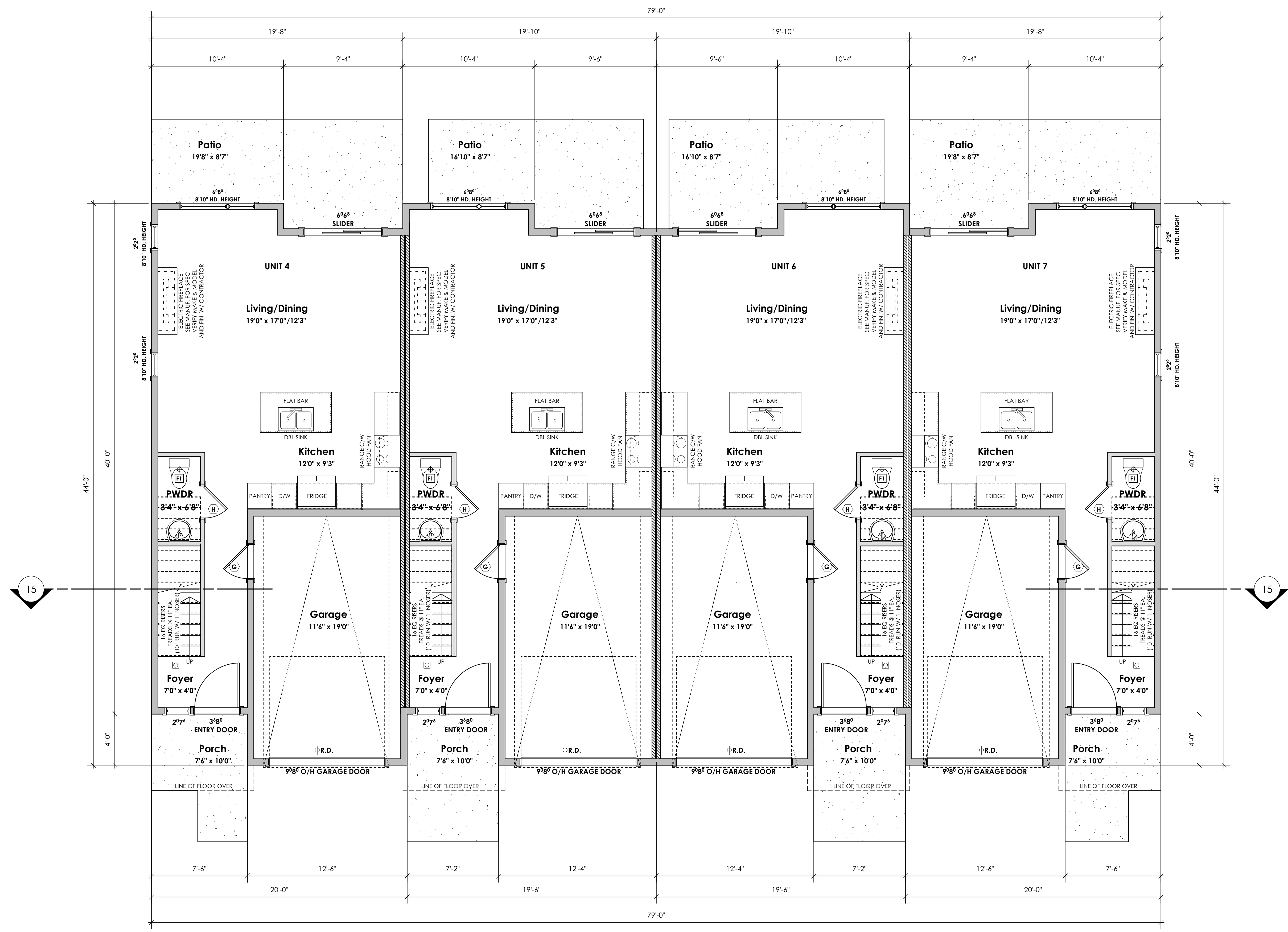
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# Proposed Rezoning - 946 Isabell Ave



13 **Quadplex - Main Floor Plan**  
Scale: 1/4" = 1'-0"

FLOOR AREAS FOR MUNICIPAL BYLAWS:

UNIT 1: 552.83 ft <sup>2</sup> (51.36 m <sup>2</sup> )	UNIT 1 - GARAGE: 218.50 ft <sup>2</sup> (20.30 m <sup>2</sup> )
UNIT 2: 555.17 ft <sup>2</sup> (51.58 m <sup>2</sup> )	UNIT 2 - GARAGE: 218.50 ft <sup>2</sup> (20.30 m <sup>2</sup> )
UNIT 3: 555.17 ft <sup>2</sup> (51.58 m <sup>2</sup> )	UNIT 3 - GARAGE: 218.50 ft <sup>2</sup> (20.30 m <sup>2</sup> )
UNIT 4: 542.83 ft <sup>2</sup> (50.53 m <sup>2</sup> )	UNIT 4 - GARAGE: 218.50 ft <sup>2</sup> (20.30 m <sup>2</sup> )
<b>TOTAL: 2206.00 ft<sup>2</sup> (205.05 m<sup>2</sup>)</b>	<b>TOTAL: 874.00 ft<sup>2</sup> (81.20 m<sup>2</sup>)</b>

BUILDING AREAS FOR CONSTRUCTION:

UNIT 1: 577.00 ft <sup>2</sup> (53.61 m <sup>2</sup> )	UNIT 1 - GARAGE: 247.33 ft <sup>2</sup> (22.98 m <sup>2</sup> )
UNIT 2: 570.67 ft <sup>2</sup> (53.02 m <sup>2</sup> )	UNIT 2 - GARAGE: 246.67 ft <sup>2</sup> (22.92 m <sup>2</sup> )
UNIT 3: 570.67 ft <sup>2</sup> (53.02 m <sup>2</sup> )	UNIT 3 - GARAGE: 246.67 ft <sup>2</sup> (22.92 m <sup>2</sup> )
UNIT 4: 577.00 ft <sup>2</sup> (53.61 m <sup>2</sup> )	UNIT 4 - GARAGE: 247.33 ft <sup>2</sup> (22.98 m <sup>2</sup> )
<b>TOTAL: 2295.34 ft<sup>2</sup> (213.26 m<sup>2</sup>)</b>	<b>TOTAL: 988.00 ft<sup>2</sup> (91.80 m<sup>2</sup>)</b>

DOOR SCHEDULE

(A) 8'0" x 6'8" (96" x 80")	(F) 2'10" x 6'8" (34" x 80")
(B) 6'0" x 6'8" (72" x 80")	(G) 2'8" x 6'8" (32" x 80")
(C) 5'0" x 6'8" (60" x 80")	(H) 2'6" x 6'8" (30" x 80")
(D) 4'0" x 6'8" (48" x 80")	(J) 2'4" x 6'8" (28" x 80")
(E) 3'0" x 6'8" (36" x 80")	(K) 2'0" x 6'8" (24" x 80")
	(L) 1'6" x 6'8" (18" x 80")

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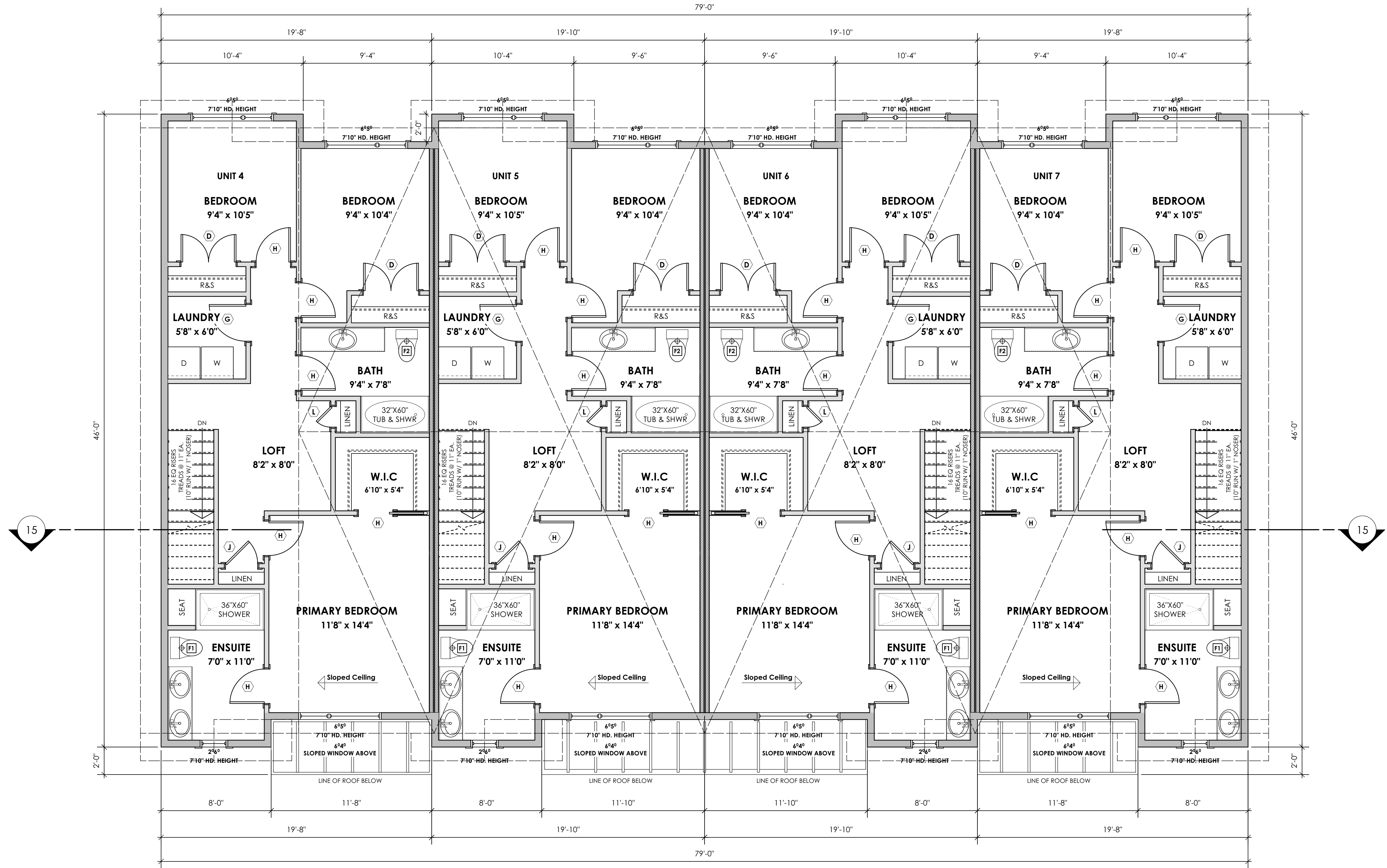
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# Proposed Rezoning - 946 Isabell Ave





14 **Quaplex - Upper Floor Plan**  
Scale: 1/4" = 1'-0"

<b>FLOOR AREAS FOR MUNICIPAL BYLAWS:</b>	<b>BUILDING AREAS FOR CONSTRUCTION:</b>	<b>DOOR SCHEDULE</b>	(F) 210 X 68 (34" X 80")
UNIT 1: 825.33 ft <sup>2</sup> (76.68 m <sup>2</sup> )	UNIT 1: 869.67 ft <sup>2</sup> (80.79 m <sup>2</sup> )	(A) 80 X 68 (96" X 80")	(G) 28 X 68 (32" X 80")
UNIT 2: 839.00 ft <sup>2</sup> (77.95 m <sup>2</sup> )	UNIT 2: 862.78 ft <sup>2</sup> (80.15 m <sup>2</sup> )	(B) 60 X 68 (72" X 80")	(H) 26 X 68 (30" X 80")
UNIT 3: 839.00 ft <sup>2</sup> (77.95 m <sup>2</sup> )	UNIT 3: 862.78 ft <sup>2</sup> (80.15 m <sup>2</sup> )	(C) 50 X 68 (60" X 80")	(J) 24 X 68 (28" X 80")
UNIT 4: 825.33 ft <sup>2</sup> (76.68 m <sup>2</sup> )	UNIT 4: 869.67 ft <sup>2</sup> (80.79 m <sup>2</sup> )	(D) 40 X 68 (48" X 80")	(K) 20 X 68 (24" X 80")
TOTAL: 3328.66 ft <sup>2</sup> (309.26 m <sup>2</sup> )	TOTAL: 3464.90 ft <sup>2</sup> (321.88 m <sup>2</sup> )	(E) 30 X 68 (36" X 80")	(L) 16 X 68 (18" X 80")

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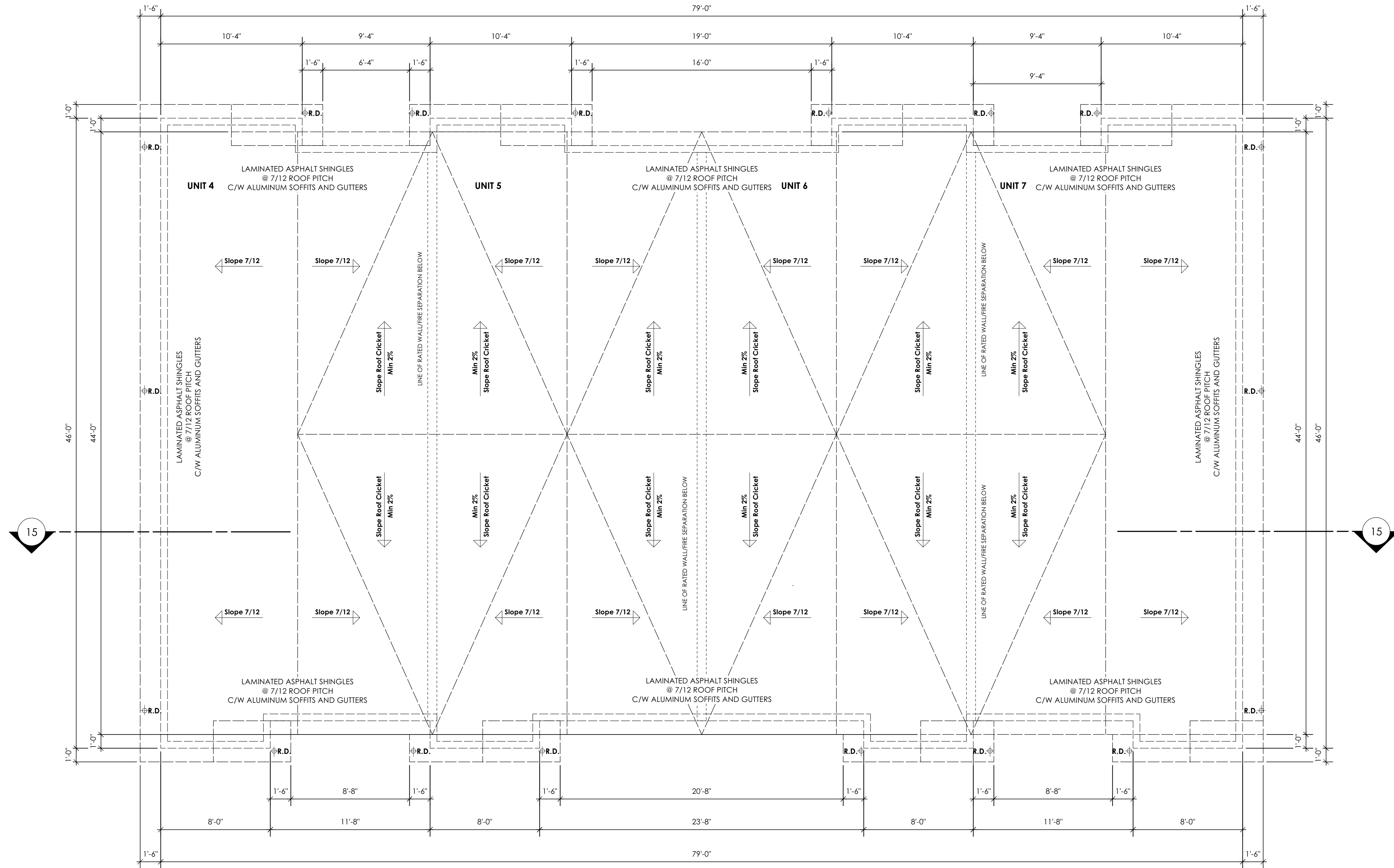
**Scale**

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**Proposed Rezoning - 946 Isabell Ave**



14 **Quadplex Roof Plan**  
Scale: 1/4" = 1'-0"

**ROOF DRAINAGE:**  
VERIFY PLACEMENT OF ROOF DRAINS (R.D.) AND RAIN WATER LEADERS (R.W.L.) PRIOR TO STARTING WORK. ROOF DRAIN PLACEMENT, SIZE, AND CONNECTIONS TO COMPLY W/ BCBC 5.6.2.2 & 9.26.18

**OVERFLOW SCUPPERS:**  
ROOFING SUB TRADE TO PROVIDE ADEQUATE OVERFLOW SCUPPERS ON ROOF PARAPET WALLS AND ROOF DECK PARAPET WALLS. VERIFY NUMBER REQUIRED AND LOCATION ON SITE.

**ROOF SLOPE:**  
ENSURE ADEQUATE ROOF SLOPE WITH SUB-TRADE/CONTRACTOR PRIOR TO STARTING WORK. TRUSS MANUFACTURER TO FABRICATE MIN 2% SLOPE TO DRAINS ON "FLAT" PORTIONS OF ROOF TO COMPLY W/ BCBC 9.26.3.1. (SEE MANUFACTURER FOR SPECIFICATIONS AND INSTALLATION INSTRUCTIONS FOR ROOF DRAINS)

**ROOF VENTING:**  
PROVIDE ADEQUATE ROOF VENTING TO COMPLY W/ BCBC 9.19.1 - (SEE MANUFACTURER FOR SPECIFICATION AND INSTALLATION INSTRUCTIONS FOR ROOF VENTS). REVIEW AND VERIFY MECHANICAL DRAWINGS FOR SPECIFICATIONS AND LOCATIONS OF MECHANICAL EQUIPMENT, SHAFTS AND VENTS.

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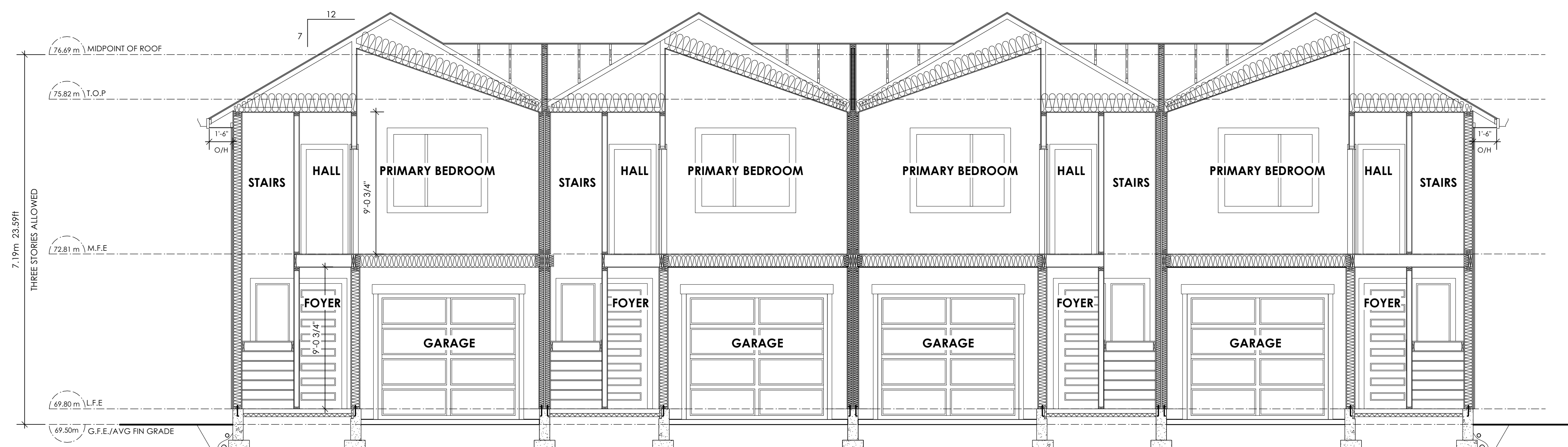
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**Proposed Rezoning - 946 Isabell Ave**





15 **Quadplex Section (Block B)**  
Scale: 1/4" = 1'-0"

ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER.  
STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR  
AND INTERIOR WALL BRACING TO RESIST LATERAL LOADS IN COMPLIANCE  
WITH B.C. BUILDING CODE 9.23.13 AND SUPPLY DETAILS IF REQUIRED

**Date**

August 12, 2024

**Project Address**

946 Isabell Avenue  
Langford, BC

**Prepared for**

Khataw Developments

**Project #**

8870

**Scale**

Not to Scale

**Drawn By**

MIS