



# Sustainable Development Advisory Committee

## Agenda

Tuesday, October 15, 2024, 7:00 PM

Council Chambers & Electronic Meeting

### To Join a Meeting:

Log into Zoom.us or the Zoom app on your device.

Enter the Meeting ID: 870 9316 3922

Dial In: 1-855-703-8985 (Canada Toll Free) or 1-778-907-2071 Meeting ID: 870 9316 3922

To Participate: Press Star (\*) 9 to "raise your hand".

Participants will be unmuted one by one when it is their turn to speak.

When called upon, you will have to press \*6 to unmute the phone from your side as well.

We may experience a delay in opening the meeting due to technical difficulties. In the event that the meeting does not start as scheduled please be patient and stay on the line, we will get started as quickly as possible.

Public Dial-In Details are also posted at [www.langford.ca](http://www.langford.ca)

---

### Pages

1.	CALL TO ORDER	
2.	TERRITORIAL ACKNOWLEDGEMENT	
3.	MEETING CONDUCT RULES	
4.	APPROVAL OF THE AGENDA	
5.	ADOPTION OF THE MINUTES	
5.1	Minutes of the Sustainable Development Advisory Committee Meeting - September 9, 2024	2
6.	REPORTS	
6.1	TUP24-0007 - 106 4342 West Shore Parkway	11
6.2	2866 Rita, 2870 Rita, and 950 Bray Rezoning	22
6.3	946 Isabell Rezoning	97
7.	ADJOURNMENT	



City of Langford

# Sustainable Development Advisory Committee Minutes

September 9, 2024, 7:00 p.m.

Council Chambers & Electronic Meeting

PRESENT:	Councillor K. Guiry - Chair	V. Dumitru
	Councillor M. Wagner - Vice-Chair	M. McNaughton
	Councillor L. Szpak	K. Nentwig
	S. Cotter	
ABSENT:	B. Gordon	M. Rodgers
ATTENDING:	K. Balzer, Director of Engineering and Public Works	T. Corpus, Senior Application Developer/Analyst
	M. Miles, Manager of Legislative Services	B. Boisvert, Legislative Services Administrative Coordinator
	R. Dykstra, Senior Planner, Approving Officer	

Meeting available by teleconference.

## 1. CALL TO ORDER

The Chair called the meeting to order at 7:00 pm.

## 2. TERRITORIAL ACKNOWLEDGEMENT

Councillor Szpak read the City of Langford's Territorial Acknowledgment.

## 3. MEETING CONDUCT RULES

M. Miles, Manager of Legislative Services, read the City of Langford's meeting conduct rules.

## 4. APPROVAL OF THE AGENDA

MOVED BY: MCNAUGHTON

SECONDED: WAGNER

THAT the Committee approve the agenda as amended by moving item 6.1 after item 6.3 and renumber accordingly to accommodate a perceived conflict of interest.

**Motion CARRIED.**



## 5. ADOPTION OF THE MINUTES

### 5.1 Minutes of the Sustainable Development Advisory Committee Meeting - August 12, 2024

MOVED BY: NENTWIG

SECONDED: DUMITRU

THAT the minutes of the Sustainable Development Advisory Committee meeting held August 12, 2024, be adopted as presented.

**Motion CARRIED.**

## 6. REPORTS

### 6.1 646 Atkins Road - Rezoning Application

MOVED BY: SZPAK

SECONDED: COTTER

THAT the Sustainable Development Advisory Committee recommend that Council:

1. Proceed with consideration of First, Second, and Third Reading of Bylaw No. 2203, following public notification, to amend the zoning designation of the properties located at 646 Atkins Avenue from the R2 Zone to the RS1 Zone subject to the following terms and conditions:
  - a. That the applicant provides, **as a bonus for increased density**, the following contributions per lot, **prior to the subdivision approval**:
    - i. \$610 per townhouse unit towards the Affordable Housing Reserve Fund
    - ii. \$660 per single family home or half duplex towards the Affordable Housing Reserve Fund;
    - iii. \$3,660 per townhouse unit towards the General Amenity Reserve Fund; and
    - iv. \$3,960 per single family home or half duplex towards the General Amenity Reserve Fund.
  - b. That the applicant registers, **prior to Bylaw Adoption**, a road dedication plan, to the satisfaction of the Director of Engineering;
  - c. That the applicant, **prior to Bylaw Adoption**, registers a Section 219 covenant in priority of all other charges on title, that agrees to the following:
    - i. That the following will be provided and implemented to Bylaw No. 1000 standards to the satisfaction of the Director of Engineering, prior to the issuance of a building permit:
      1. Full frontage improvements; and
      2. A storm water management plan.

- ii. That the following will be provided and implemented to Bylaw No. 1000 standards to the satisfaction of the Director of Engineering prior to any land alteration:
  - 1. A construction parking management plan; and
  - 2. A mitigation plan.
- iii. That the applicant shall apply for subdivision utilizing the plan demonstrated to Council during the rezoning process, or one that is substantially similar demonstrating that all new lots created are below 280 m<sup>2</sup> in size;
- iv. Tree protection fencing shall be installed by the project arborist for all trees identified for retention in the arborist report prepared by SouthShore Forest Consultants dated July 19<sup>th</sup>, 2024, prior to the commencement of any work on site, and shall be maintained throughout the construction period;
- v. Acknowledgement that the site is in proximity to an existing rail corridor that may be utilized for transportation uses in the future such as, but not limited to rail, bus, or other, that these uses may result in general nuisances, and that the owner and all future owners assume all risk and annoyance of such nuisances;
- vi. That all concrete used on-site will utilize ready-mix concrete that meets or exceeds the weighted average Global Warming Potential targets based on Concrete BC Baseline (average) mix data, and that prior to the issuance of a Building Permit the applicant shall provide a Type III Environmental Product Declaration that is 3<sup>rd</sup> party verified specifying the total Global Warming Potential value and confirming that the proposed development meets the requirements of Low Carbon Concrete Policy POL-0167-PLAN;
- vii. That the applicant, prior to subdivision approval, upgrade the façade of the existing dwelling that is remaining in order to better comply with City Design Guidelines, to the satisfaction of the Director of Development Services;
- viii. That electric heat pumps be installed in all future units.

AND

- 2. Proceed with consideration of First, Second, and Third Reading of Bylaw No. 2203, following public notification, to amend the required parking for residential uses in Restricted Zones specified in Part 4 of Zoning Bylaw No. 300 as follows:

Residential uses on Lots within a Restricted Zone and shown on Schedule AA that have a lot area of 281 m <sup>2</sup> or greater	0 spaces per dwelling unit
--	----------------------------

Residential uses on Lots within a Restricted Zone that have a lot area of less than 281 m2 developed	1 space per dwelling unit
--	---------------------------

AND

3. Authorize the Director of Development Services to issue a setback variance to the exterior side lot line of the existing dwelling unit only to 1.59 m instead of the required 3m.

**Prior to consideration of the Main Motion:**

**Amendment:**

MOVED BY: WAGNER

SECONDED: NENTWIG

THAT the maximum fence height be 8 feet along the rear and the western side of the lot.

**Motion DEFEATED.**

Councillors Szpak, Committee members M. McNaughton, S. Cotter and V. Dumitru opposed.

**On the Main Motion:**

THAT the Sustainable Development Advisory Committee recommend that Council:

1. Proceed with consideration of First, Second, and Third Reading of Bylaw No. 2203, following public notification, to amend the zoning designation of the properties located at 646 Atkins Avenue from the R2 Zone to the RS1 Zone subject to the following terms and conditions:
  - a. That the applicant provides, **as a bonus for increased density**, the following contributions per lot, **prior to the subdivision approval**:
    - i. \$610 per townhouse unit towards the Affordable Housing Reserve Fund
    - ii. \$660 per single family home or half duplex towards the Affordable Housing Reserve Fund;
    - iii. \$3,660 per townhouse unit towards the General Amenity Reserve Fund; and
    - iv. \$3,960 per single family home or half duplex towards the General Amenity Reserve Fund.
  - b. That the applicant registers, **prior to Bylaw Adoption**, a road dedication plan, to the satisfaction of the Director of Engineering;
  - c. That the applicant, **prior to Bylaw Adoption**, registers a Section 219 covenant in priority of all other charges on title, that agrees to the following:

- i. That the following will be provided and implemented to Bylaw No. 1000 standards to the satisfaction of the Director of Engineering, prior to the issuance of a building permit:
  1. Full frontage improvements; and
  2. A storm water management plan.
- ii. That the following will be provided and implemented to Bylaw No. 1000 standards to the satisfaction of the Director of Engineering prior to any land alteration:
  1. A construction parking management plan; and
  2. A mitigation plan.
- iii. That the applicant shall apply for subdivision utilizing the plan demonstrated to Council during the rezoning process, or one that is substantially similar demonstrating that all new lots created are below 280 m<sup>2</sup> in size;
- iv. Tree protection fencing shall be installed by the project arborist for all trees identified for retention in the arborist report prepared by SouthShore Forest Consultants dated July 19<sup>th</sup>, 2024, prior to the commencement of any work on site, and shall be maintained throughout the construction period;
- v. Acknowledgement that the site is in proximity to an existing rail corridor that may be utilized for transportation uses in the future such as, but not limited to rail, bus, or other, that these uses may result in general nuisances, and that the owner and all future owners assume all risk and annoyance of such nuisances;
- vi. That all concrete used on-site will utilize ready-mix concrete that meets or exceeds the weighted average Global Warming Potential targets based on Concrete BC Baseline (average) mix data, and that prior to the issuance of a Building Permit the applicant shall provide a Type III Environmental Product Declaration that is 3<sup>rd</sup> party verified specifying the total Global Warming Potential value and confirming that the proposed development meets the requirements of Low Carbon Concrete Policy POL-0167-PLAN;
- vii. That the applicant, prior to subdivision approval, upgrade the façade of the existing dwelling that is remaining in order to better comply with City Design Guidelines, to the satisfaction of the Director of Development Services;
- viii. That electric heat pumps be installed in all future units.

AND

2. Proceed with consideration of First, Second, and Third Reading of Bylaw No. 2203, following public notification, to amend the required parking for residential uses in Restricted Zones specified in Part 4 of Zoning Bylaw No. 300 as follows:

Residential uses on Lots within a Restricted Zone and shown on Schedule AA that have a lot area of 281 m <sup>2</sup> or greater	0 spaces per dwelling unit
Residential uses on Lots within a Restricted Zone that have a lot area of less than 281 m <sup>2</sup> developed	1 space per dwelling unit

AND

3. Authorize the Director of Development Services to issue a setback variance to the exterior side lot line of the existing dwelling unit only to 1.59 m instead of the required 3m.

**Motion CARRIED.**

#### 6.2 2860 Turnstyle Crescent - Temporary Use Permit

MOVED BY: MCNAUGHTON

SECONDED: DUMITRU

THAT the Sustainable Development Advisory Committee recommend to Council:

That Council direct staff to provide notice that Council will consider issuing a Temporary Use Permit to Erica Sorenson to operate a personal service home business from the applicant's townhome located at 2860 Turnstyle Crescent (Strata Lot 26, Section 1, Goldstream District, Strata Plan EPS4171, PID 030-540-771), subject to the following terms and conditions:

- a. That the Temporary Use Permit is issued for a period of three years from time of issuance;
- b. That the operator of the business obtains a Business Licence from the City of Langford; and
- c. That the garage must be used for parking.

**Motion CARRIED.**

#### 6.3 939 Klahanie Drive - Rezoning Application

Committee member V. Dumitru left the meeting at 8:17 pm due to a perceived conflict of interest after having signed a neighbourhood petition in support of the application.

MOVED BY: NENTWIG

SECONDED: MCNAUGHTON

THAT the Sustainable Development Advisory Committee recommend that Council:

1. Direct staff to prepare and bring forward a bylaw to amend the zoning designation of the property located at 939 Klahanie Drive from Rural Residential 2 (RR2) to Rural Residential 5 (RR5) subject to the following terms and conditions:
  - a. That the applicant provides, **as a bonus for increased density**, the following contributions per dwelling lot, **prior to the issuance of subdivision approval**:
    - i. \$1,000 towards the Affordable Housing Reserve Fund; and
    - ii. \$6,000 towards the General Amenity Reserve Fund;
  - b. That the applicant, **prior to Bylaw Adoption**, registers a Section 219 covenant in priority of all other charges on title, that agrees to the following:
    - i. That the following will be provided and implemented to Bylaw No. 1000 standards to the satisfaction of the Director of Engineering prior to subdivision or the issuance of a building permit, whichever comes first:
      1. Full frontage improvements; and
      2. A storm water management plan.
    - ii. That the following will be provided and implemented to Bylaw No. 1000 standards to the satisfaction of the Director of Engineering prior to land alterations:
      1. A construction parking and deliveries management plan, and a mitigation plan.
    - iii. That tree protection measures, inclusive of tree protection fencing, are implemented prior to commencement of work to protect the trees identified for retention in the arborist report throughout the construction period;
    - iv. That all concrete used on-site will utilize ready-mix concrete that meets or exceeds the weighted average Global Warming Potential targets based on Concrete BC Baseline (average) mix data, and that prior to the issuance of a Building Permit the applicant shall provide a Type III Environmental Product Declaration that is 3<sup>rd</sup> party verified specifying the total Global Warming Potential value and confirming that the proposed development meets the requirements of Low Carbon Concrete Policy POL-0167-PLAN;

AND

2. Direct staff to prepare and bring forward a Development Variance Permit that varies the following regulations of the Zoning Bylaw No. 300 and the Subdivision and Development Servicing Bylaw No. 1000 pursuant to Section 498 of the Local Government Act:

- a. That Section 6.14.02(2) of Zoning Bylaw No. 300 be varied by reducing the allowable lot size for subdivision of a property that is not serviced with municipal sewer from 40 hectares (98.8 acres) to 0.44 hectares (1.1 acres) for the property located at 939 Klahanie Drive; and
- b. That Section 6.1.2 of Subdivision and Development Servicing Bylaw No. 1000 be varied by allowing subdivision as a permitted form of development for the property located at 939 Klahanie Drive.

**Prior to consideration of the Main Motion:**

**Amendment 1:**

MOVED BY: WAGNER

SECONDED: MCNAUGHTON

That the applicant, prior to Bylaw Adoption, registers a Section 219 covenant to include:

- That only one single-family home with no additional suite as part of the application as presented be allowed on either lot.

**Motion CARRIED.**

**On the Main Motion as amended:**

THAT the Sustainable Development Advisory Committee recommend that Council:

1. Direct staff to prepare and bring forward a bylaw to amend the zoning designation of the property located at 939 Klahanie Drive from Rural Residential 2 (RR2) to Rural Residential 5 (RR5) subject to the following terms and conditions:
  - a. That the applicant provides, **as a bonus for increased density**, the following contributions per dwelling lot, **prior to the issuance of subdivision approval**:
    - i. \$1,000 towards the Affordable Housing Reserve Fund; and
    - ii. \$6,000 towards the General Amenity Reserve Fund;
  - b. That the applicant, **prior to Bylaw Adoption**, registers a Section 219 covenant in priority of all other charges on title, that agrees to the following:
    - i. That the following will be provided and implemented to Bylaw No. 1000 standards to the satisfaction of the Director of Engineering prior to subdivision or the issuance of a building permit, whichever comes first:
      1. Full frontage improvements; and
      2. A storm water management plan.
    - ii. That the following will be provided and implemented to Bylaw No. 1000 standards to the satisfaction of the Director of Engineering prior to land alterations:

1. A construction parking and deliveries management plan, and a mitigation plan.
- iii. That tree protection measures, inclusive of tree protection fencing, are implemented prior to commencement of work to protect the trees identified for retention in the arborist report throughout the construction period;
- iv. That all concrete used on-site will utilize ready-mix concrete that meets or exceeds the weighted average Global Warming Potential targets based on Concrete BC Baseline (average) mix data, and that prior to the issuance of a Building Permit the applicant shall provide a Type III Environmental Product Declaration that is 3<sup>rd</sup> party verified specifying the total Global Warming Potential value and confirming that the proposed development meets the requirements of Low Carbon Concrete Policy POL-0167-PLAN;
- v. That only one single-family home with no additional suite as part of the application as presented be allowed on either lot.

AND

2. Direct staff to prepare and bring forward a Development Variance Permit that varies the following regulations of the Zoning Bylaw No. 300 and the Subdivision and Development Servicing Bylaw No. 1000 pursuant to Section 498 of the Local Government Act:
  - a. That Section 6.14.02(2) of Zoning Bylaw No. 300 be varied by reducing the allowable lot size for subdivision of a property that is not serviced with municipal sewer from 40 hectares (98.8 acres) to 0.44 hectares (1.1 acres) for the property located at 939 Klahanie Drive; and
  - b. That Section 6.1.2 of Subdivision and Development Servicing Bylaw No. 1000 be varied by allowing subdivision as a permitted form of development for the property located at 939 Klahanie Drive.

**Motion CARRIED.**

## **7. ADJOURNMENT**

MOVED BY: MCNAUGHTON

SECONDED: WAGNER

The Chair adjourned the meeting at 9:56 pm.

**Motion CARRIED.**

---

Presiding Council Member

---

Certified Correct - Corporate Officer





City of Langford

# Staff Report to Sustainable Development Advisory Committee

**DATE:** Tuesday, October 15, 2024

**DEPARTMENT:** Planning

**APPLICATION NO.:** TUP24-0007

**SUBJECT:** Application for a Temporary Use Permit to permit a pet daycare and boarding kennel at unit 106-4342 West Shore Parkway.

## EXECUTIVE SUMMARY:

Selena Elrod of Jurassic Bark Holistic Pet Care Ltd. has applied on behalf of the property owner, Jarnail Dadiel, for a temporary use permit to allow for the uses of 'pet daycare' and 'boarding kennels' at the holistic animal hospital that is to operate from unit 106 at West Shore Business Park (4342 West Shore Parkway). With this application, the applicant is hoping to expand the range of services offered. The applicant is not proposing any alterations to the exterior of the building. Additionally, this application does not trigger any changes to the site plan or parking requirements.

## BACKGROUND:

### PREVIOUS APPLICATIONS

There have been no previous Planning applications associated with the unit within the industrial/commercial multi-tenant building.

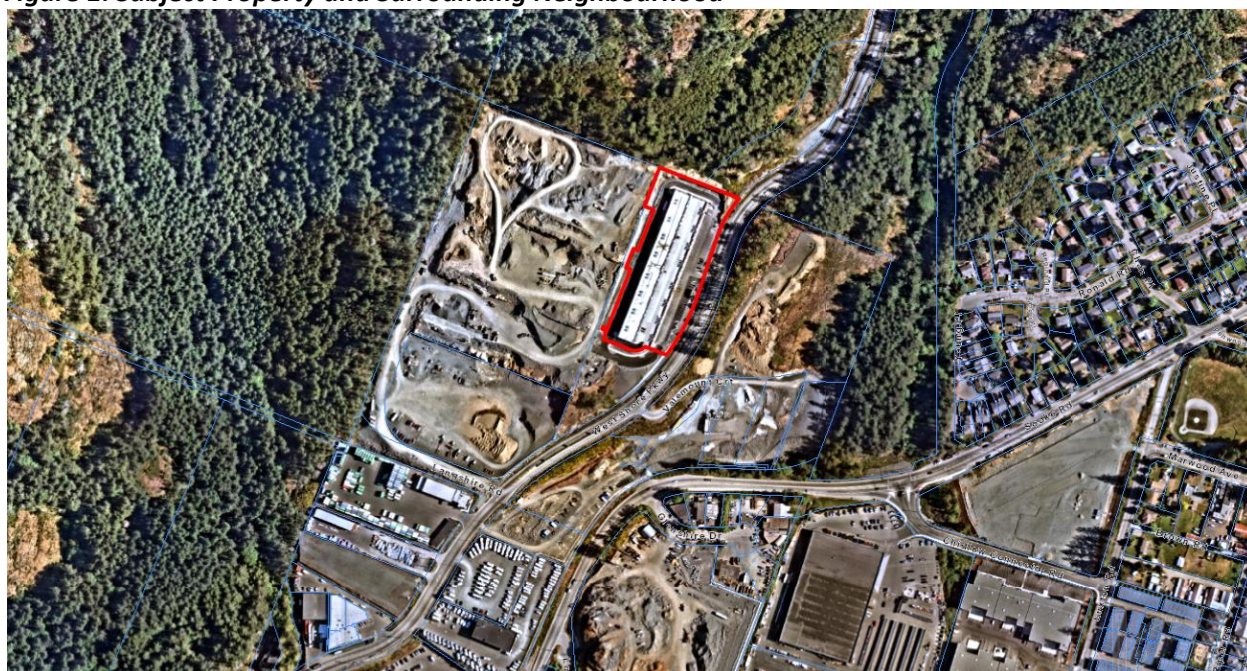
**Table 1: Site Data**

<i>Applicant</i>	Selena Elrod (Jurassic Bark Holistic Pet Care)	
<i>Owner</i>	Jarnail Didal	
<i>Civic Address</i>	106 4342 West Shore Parkway	
<i>Legal Description</i>	Part Strata Lot 14 of Strata Plan of Part of Lot 1, Section 87, Metchosin District, Plan EPP77125	
<i>DP Areas</i>	Woodland, Habitat and Biodiversity, Steep Slopes, Extreme Fire Hazard	
<i>Zoning</i>	Existing: BP2A Business Park 2A – Sooke Road)	Proposed: BP2A Business Park 2A – Sooke Road)
<i>OCP Designation</i>	Existing: Business or Light Industrial	Proposed: Business or Light Industrial

### SITE AND SURROUNDING AREA

The subject property is located in the western area of Langford, north of Sooke Road, between West Shore Parkway and Mount Wells Regional Park. The unit where the proposed business is to be located is one of the 32 units in a newly constructed business park/industrial building known as West Shore Business Park. The unit is located on the lower level of the complex, directly accessible via West Shore Parkway. The surrounding area is under development and will be further developed to include a mini storage facility, warehouse/office buildings, lumber supply store, and a concrete plant across the road.

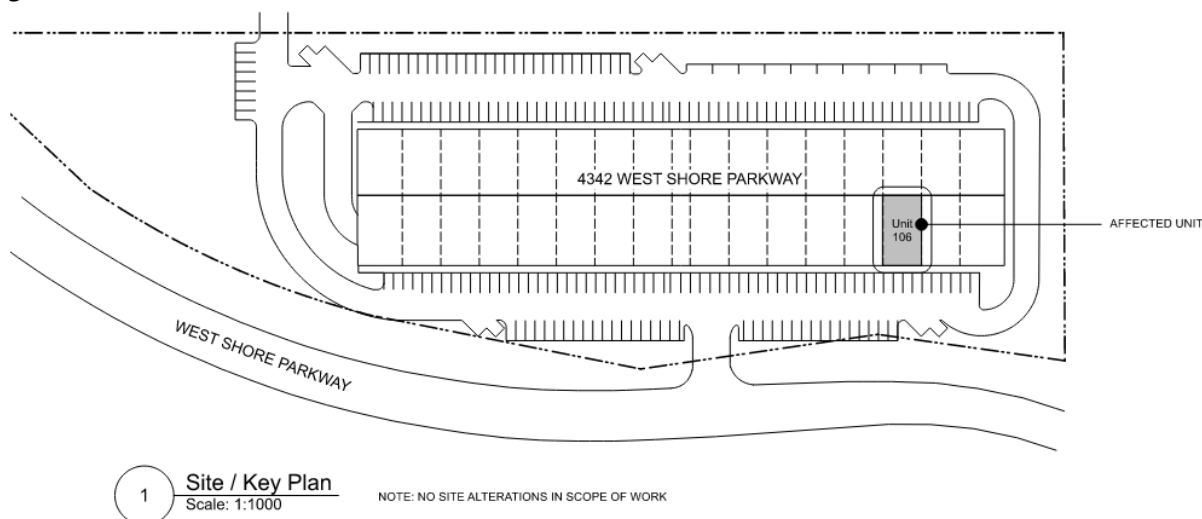
**Figure 1: Subject Property and Surrounding Neighbourhood**



**Table 2: Surrounding Land Uses**

	<b>Zoning</b>	<b>Use</b>
<i>North</i>	CD3 (Comprehensive Development 3- Westhills)	Undeveloped
<i>East</i>	BP2A (Business Park 2A – Sooke Road)	Future concrete plant
<i>South</i>	BP2A (Business Park 2A – Sooke Road)	Future office/mini storage facility Future lumber supply store
<i>West</i>	BP2A (Business Park 2A – Sooke Road) P4 (Park and Open Space)	Future 49-unit warehouse development Mount Wells Regional Park

**Figure 2: Site Plan**



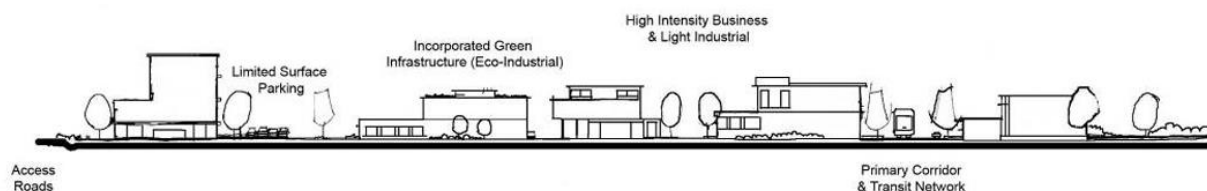
## COUNCIL POLICY

### OFFICIAL COMMUNITY PLAN

The Official Community Plan (OCP) Bylaw No. 1200 designated the subject properties as “*Business or Light Industrial*”, which is defined by the following text:

- *Predominantly business and light industrial precinct that supports a range of business uses;*
- *Parks, open spaces are integrated throughout the centre where appropriate to serve users and employees and green corridors (creeks, wildlife corridors, trails, etc.) that connect to other parts of the community where appropriate;*
- *Transit stops are located where appropriate.*

### A Concept for Business or Light Industrial Centre



## DEVELOPMENT PERMIT AREAS

- The Extreme Fire Hazard, potential Habitat and Biodiversity, Steep Slopes, and Woodland Development Permit Areas were addressed at the time of the original Development and do not create a concern for this Temporary Use Permit.
- Commercial and Industrial Development Permit Area requirements would pertain to this property regarding the form and character, however the applicant has not stated any intention to alter the exterior of the building. A building permit for tenant improvements was obtained earlier in 2024 to address the interior alteration of the unit in preparation for the business.

## COMMENTARY:

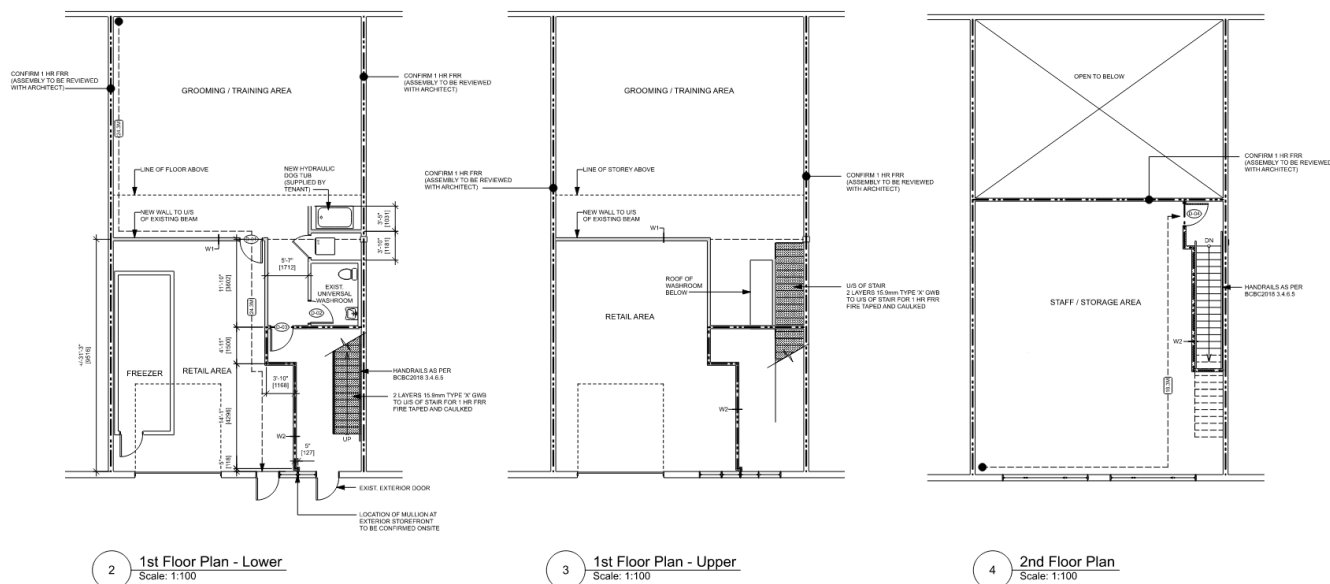
### PROPOSAL

As stated above, the applicant has applied for a Temporary Use Permit to expand the range of services provided at their holistic animal hospital to include 'pet daycare' and 'boarding kennel' as defined in Zoning Bylaw No. 300. The business aims to offer integrated and holistic medicine to pets, provided by certified animal specialists and pet professionals. Some of the services will include the following:

- Acupuncture;
- Massage and chiropractic care;
- Herbology;
- Nutritional consultation;
- Fitness and weight management;
- Rehabilitation;
- Hydrotherapy; and
- Anesthetic free dental cleaning.

The floor plan of the space as it was approved through a Building Permit can be seen below in Figure 3.

**Figure 3: Floor Plan**



The Zoning Bylaw No. 300 does not contain the use of holistic animal hospital or pet wellness centre. Animal hospital, however, is defined in Zoning Bylaw No. 300 as the following:

**Animal hospital** means land, buildings and structures used for the veterinary care and treatment of domestic animals including cats, dogs, other house pets, and farm livestock such as cattle, chicken goats, horses, pigs or sheep, but does not include premises used for disposal of animal carcasses or the boarding of healthy animals.

Given that majority of the services that intend to be offered at the Jurassic Bark facility are not traditional veterinary care, emphasis was placed on provision of treatment and care by a qualified registered professional. In order to qualify as an animal hospital under the definition provided above, there must be at least one fully licenced veterinarian who has completed traditional veterinary training and education, earning a Doctor of Veterinary Medicine (DVM) degree on staff. The applicant has indicated that the business will have at least one DVM on staff.

In addition to the services that would be permitted under the definition of animal hospital, the applicant has indicated that they would like to provide remedies for behavioural and training issues in a form of supervised care and educational classes. Additionally, the business wishes to offer grooming services. These services do not meet the criteria of animal hospital under the Zoning Bylaw No. 300, and the use of 'pet daycare' would be more appropriate, as defined below:

***Pet daycare*** means the daytime lodging of cats, dogs, or other domestic pets entirely within an enclosed building, for another person for financial gain, and may include accessory office, retail sales of pet food and care products, pet grooming and training. This use excludes the keeping of animals overnight, an animal shelter or an animal pound.

Additionally, the applicant indicated that the business wishes to offer overnight boarding of healthy pets. However, as noted in the two definitions provided above, both uses explicitly prohibit overnight boarding of healthy animals. While an animal hospital does permit overnight stay of animals in care for observation purposes, this is different from boarding of healthy animals proposed by the applicant. As such, a temporary use permit is required in this regard as well. Zoning Bylaw No. 300 defines boarding kennel as the following:

***Boarding kennel*** means lands, buildings and structures used for the commercial breeding, raising, training, boarding, overnight accommodation, and grooming of dogs, cats or other household pets, and may include accessory retail sales of pet product. This use does not include an animal hospital, veterinary practice, or animal shelter but may include breeding kennel.

Currently, the Zoning Bylaw No. 300 limits boarding kennels as accessory use on the properties with lot area of 4.0 hectares (9.9 ac) or larger. Since very few properties in Langford meet with this requirement, this criterion allows Council to review ‘boarding kennel’ proposals on a case-by-case basis through a rezoning or a temporary use permit to ensure the suitability of the use for the proposed site. In this particular case, Council may deem the use appropriate for the location given the absence of nearby residential uses, the nature of anticipated uses on surrounding properties, as well as the uses permitted on the subject property itself. The BP2A (Business Park- Sooke Road West) Zone permits light industrial uses, such as manufacturing, warehouse storage, the retail sale, repair and storage of motor vehicles, as well as the retail sale of larger items like lumber and agricultural supplies. Additionally, the BP2A zone allows for commercial uses such as accessory retail stores, restaurant, and office space.

As Zoning Bylaw No. 300 does not limit the number of pets accommodated on properties where overnight boarding is allowed, Council may wish to take this opportunity to impose a limit they deem suitable for the subject property as a condition of the TUP. This would help ensure that the use of boarding kennels remains secondary to the primary use of holistic animal hospital. If Council wishes to proceed with issuance of a TUP for boarding kennels, but wants to limit the number of pets that can be boarded at the facility at any given time, they may include a condition stipulating that the operator must not keep or harbour more pets than the number specified by Council.

The three separate uses of animal hospital, pet daycare, and boarding kennel would cover all the services the applicant wishes to provide within their business.

The facility also intends to have approximately 74m<sup>2</sup> (800ft<sup>2</sup>) dedicated to retail of healthy pet food, supplements, treats and supplies, which equates to approximately 24% of the total gross floor area of the unit. BP2A zone does permit a retail store, limited to a maximum of 25% of the gross floor area of the building in which it is located, so this use is already permitted. Additionally, the use of pet daycare includes accessory retail, as defined above.

It is also important to note that parking in the BP2A zoning designation of the subject property (BP2A) is subject to a flat rate of 1 per 45m<sup>2</sup> (484.4 ft<sup>2</sup>). As a result, parking is reviewed comprehensively for the entire site and will not be impacted by the approval of this TUP.

#### **FINANCIAL IMPLICATIONS:**

There are no financial implications associated with this TUP application. Should Council determine that the uses proposed through this application are not appropriate for the subject property, a different tenant would occupy the space.

#### **LEGAL IMPLICATIONS:**

Pursuant to s. 497 of the Local Government Act, the City may issue a Temporary Use Permit (TUP) for a period of up to three years. The Local Government Act also allows a Temporary Use Permit to be extended for a maximum of an additional three years. If the holder of a TUP wishes to conduct the temporary use beyond 6 years period, they are required to make a new application to Council for a TUP or apply for rezoning.

#### **OPTIONS:**

##### **Option 1**

THAT the Sustainable Development Advisory Committee recommend that Council:

1. That Council direct staff to provide notice that Council will consider issuing a Temporary Use Permit to allow a pet daycare and boarding kennel at 106 4342 West Shore Parkway, subject to the following terms and conditions:
  - a. That the Temporary Use Permit is issued for a period of three years from time of issuance;
  - b. That the use of 'pet daycare' and 'boarding kennel' are operated in conjunction with the use of 'animal hospital' as defined in the Zoning Bylaw No. 300, and neither of the uses is operated as a stand alone use; and
  - c. That the operator of the business obtains a Business Licence from the City of Langford.



**OR Option 2**

THAT the Sustainable Development Advisory Committee recommend that Council take no action with respect to this Temporary Use Permit application for 106 4342 West Shore Parkway until such time as the following items are addressed and reviewed by the Sustainable Development Advisory Committee:

- a. \_\_\_\_\_;
- b. \_\_\_\_\_;
- c. \_\_\_\_\_;

**SUBMITTED BY: Anastasiya Mysak, Planner I**

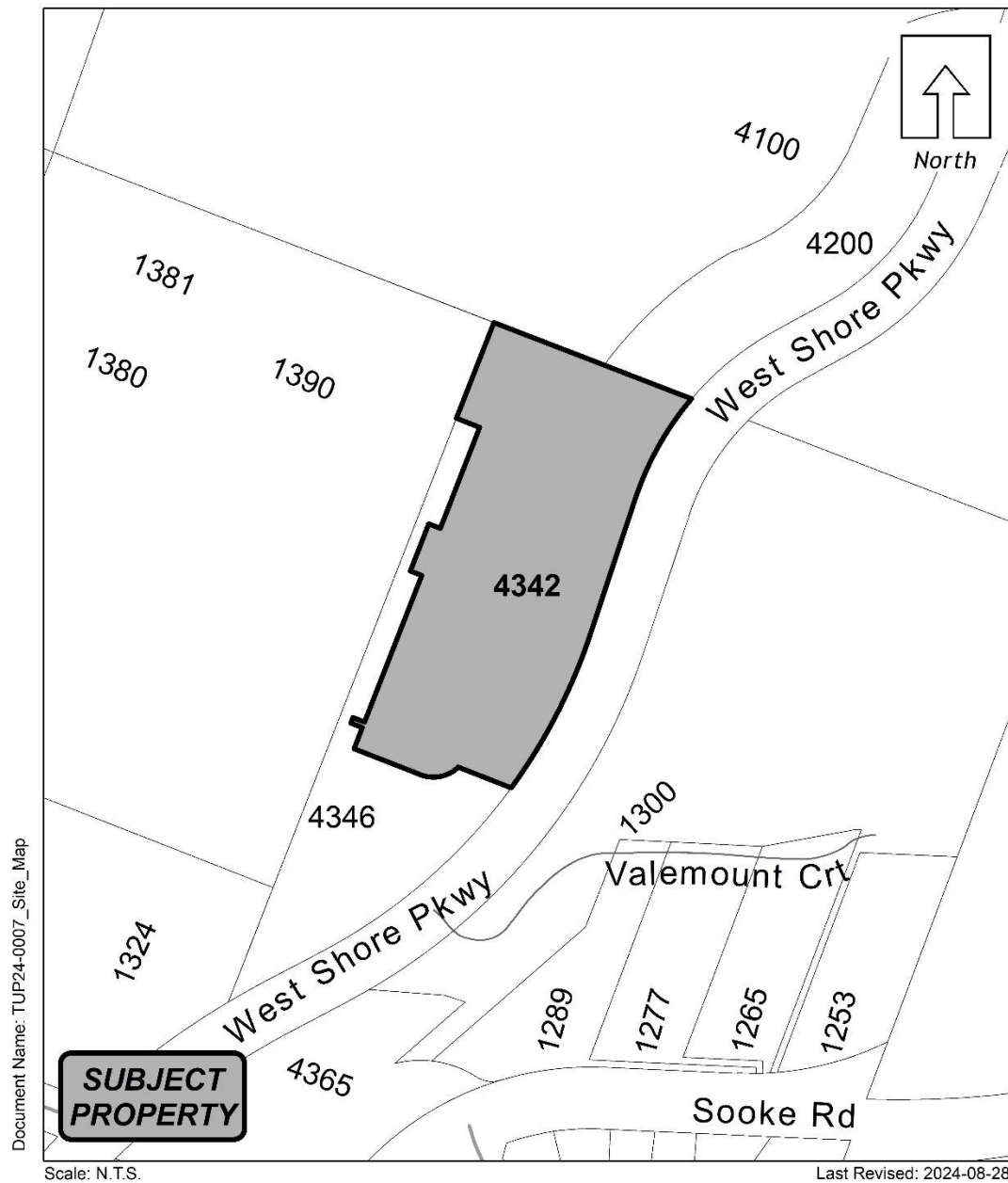
**Concurrence:** Matthew Baldwin, RPP, MCIP, Director of Development Services  
**Concurrence:** Leah Stohmann, RPP, MCIP, Director of Community Planning and Climate Change  
**Concurrence:** Melisa Miles, Manager of Legislative Services  
**Concurrence:** Donna Petrie, Senior Manager of Communications & Economic Development  
**Concurrence:** Yari Nielsen, Director of Parks, Recreation and Facilities  
**Concurrence:** Katelyn Balzer, P.Eng., Director of Engineering and Public Works  
**Concurrence:** Michael Dillabaugh, CPA, CA, Director of Finance  
**Concurrence:** Braden Hutchins, Deputy Chief Administrative Officer

Attachments: Letter of Intent (106 4342 West Shore Parkway)



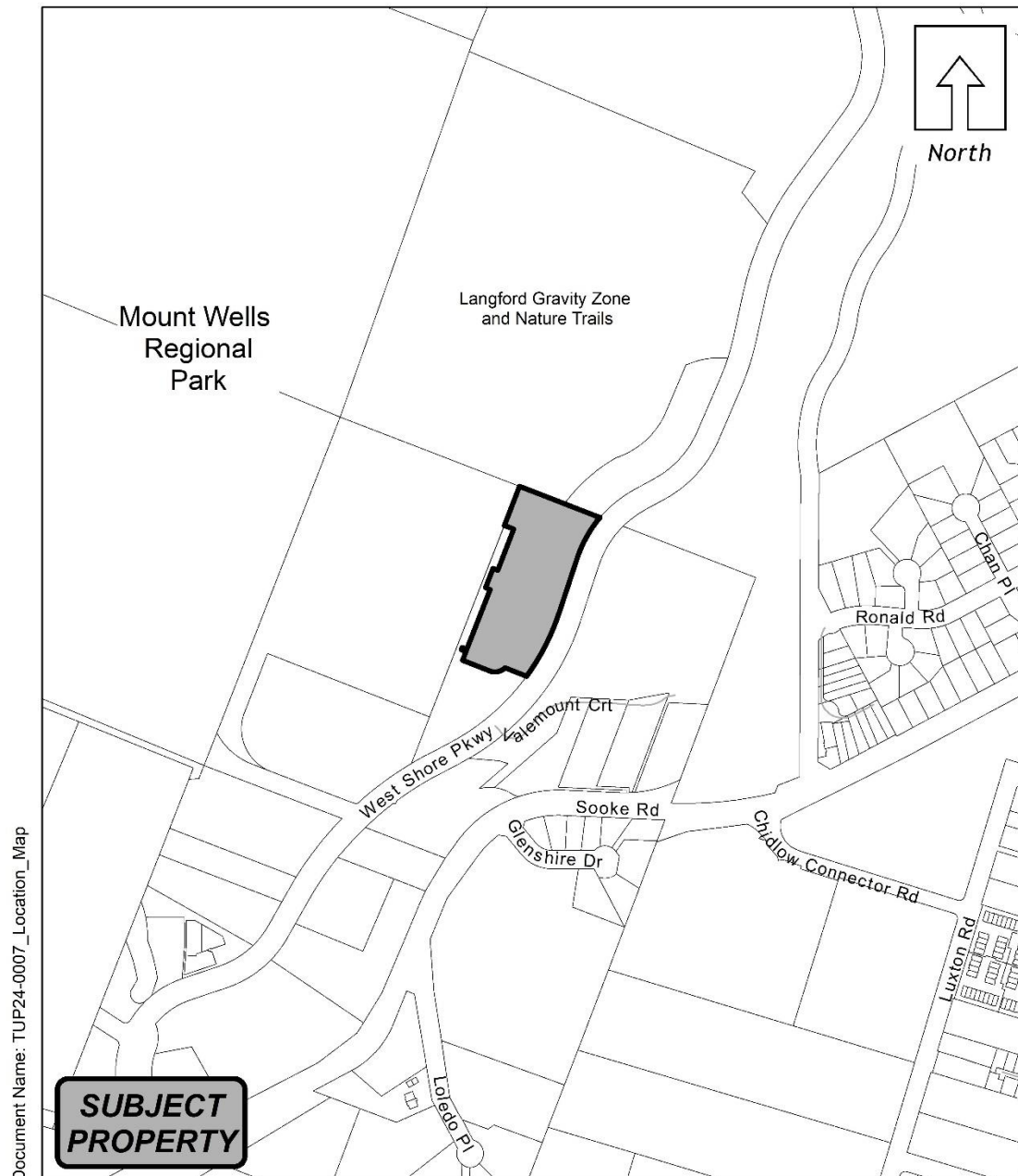
**Appendix A – Site Map**

**TEMPORARY USE PERMIT  
 ( TUP24-0007 )  
 4342 West Shore Pkwy**



**Appendix B – Location Map**

**TEMPORARY USE PERMIT  
 ( TUP24-0007 )  
 4342 West Shore Pkwy**



Document Name: TUP24-0007\_Location\_Map

Scale: N.T.S.

Last Revised: 2024-08-29

To Whom It May Concern:

My name is Selena Elrod and I am currently constructing a holistic animal hospital and pet wellness center to be located at #106 – 4342 West Shore Parkway.

Our team will consist of certified animal specialists and pet professionals to offer a wide array of integrative treatment services such as acupuncture, massage and chiropractic, herbology, nutritional consultations, fitness and weight management programs, rehabilitation, hydrotherapy, anaesthetic free dental cleanings and more. Additionally, we have approximately 800 square feet dedicated to the sale of healthy pet foods, vitamins, supplements, treats and supplies.

In addition to the permitted uses outlined for an animal hospital, we would also like to offer services supporting the mental and emotional well-being of pets, such as remedies for behavioural and training issues and a safe place for supervised care and educational classes. As such, we would like to add the uses of pet daycare, including accessory grooming and training, and an overnight boarding kennel for healthy pets.

Your consideration of a Temporary Use Permit is greatly appreciated.

With thanks,

Selena Elrod, CMT

250-580-8398

Jurassic\_bark@outlook.com



# Staff Report to Sustainable Development Advisory Committee

**DATE:** Tuesday, October 15, 2024

**DEPARTMENT:** Planning

**APPLICATION NO.:** Z23-0008

**SUBJECT:** Bylaw No. 2199 – Application to Rezone 2866 Rita Road, 2870 Rita Road, and 950 Bray Avenue from One- and Two-Family Residential (R2) to City Centre 1 (CC1) to allow a Six-Storey Apartment

## EXECUTIVE SUMMARY:

Rachael Sansom and Alan Lowe have applied on behalf of 1341278 BC Ltd. to rezone 2866 Rita Road, 2870 Rita Road, and 950 Bray Avenue from One- and Two-Family Residential (R2) to City Centre 1 (CC1) to allow a six-storey apartment with approximately 77 residential rental units. The application includes a parking variance request to reduce the total required parking stalls from 96 to 85.

## BACKGROUND:

### PREVIOUS APPLICATIONS

There have been no previous applications made for any of the subject properties.

**Table 1: Site Data**

<i>Applicant</i>	Rachael Sansom and Alan Lowe	
<i>Owner</i>	1341278 BC Ltd.	
<i>Civic Address</i>	2866 Rita Road, 2870 Rita Road, and 950 Bray Avenue	
<i>Legal Descriptions</i>	LOT 11, SECTION 79, EQUIMALT DISTRICT, PLAN 17397 LOT 12, SECTION 79, ESQUIMALT DISTRICT, PLAN 17397 LOT 4, SECTION 79, ESQUIMALT DISTRICT, PLAN 18207	
<i>Size of Property</i>	2,106 m <sup>2</sup> (combined area)	
<i>DP Areas</i>	Downtown Development Permit Area	
<i>Zoning</i>	Existing: R2 - One- and Two-Family Residential)	Proposed: CC1 - City Centre 1
<i>OCP Designation</i>	Existing: City Centre	Proposed: City Centre

### SITE AND SURROUNDING AREA

The subject properties are located within Langford's City Centre, on the corner of Bray Avenue and Rita Road, abutting the corner of Centennial Park. The lots are flat, and each contain a single-family dwelling. Across the three lots, there are two bylaw protected trees, one cedar and one Douglas-fir, which will be discussed later within this report.

The surrounding area is made up of mostly single-family homes, with an increasing number of apartments and townhomes being constructed. Council may wish to note that an existing duplex is located between the existing six-storey apartment at 968 Bray Avenue and the proposed development site. The site is located approximately 300 m from the E&N Trail, and approximately 400 m away from Langford Exchange which provides bus connections throughout the region. An increasing number of shops and services are either already located along Jacklin Road or are anticipated through prior approvals for redevelopment along the corridor. The site is also within walking distance to Goldstream Avenue which provides an additional array of services. As noted above, Centennial Park abuts the corner of the site. The park contains tennis courts, baseball diamonds, a playground and splash park, and the Centennial Centre for Arts, Culture, and Community – operated by West Shore Parks and Recreation.

**Figure 1: Subject Properties**



School District No 62 has been made aware of this application such that they can consider the proposed increase in density in this area as part of their long-range facility planning. The subject properties are located approximately 750 m from Ruth King Elementary School and approximately 600 m from Spencer Middle School.



**Table 2: Surrounding Land Uses**

	<b>Zoning</b>	<b>Use</b>
<i>North</i>	R2 (One- and Two-Family Residential)	Single Family Homes
<i>East</i>	R2 (One- and Two-Family Residential)	Single Family Homes
<i>South</i>	R2 (One- and Two-Family Residential)	Single Family Homes
<i>West</i>	R2 (One- and Two-Family Residential) CC1 (City Centre 1) P2 (Community Institutional)	Single Family Homes Six-Storey Apartments Centennial Park

**COMMENTARY:**Development Proposal

The applicant has applied to rezone 2866 Rita Road, 2870 Rita Road, and 950 Bray Avenue from R2 (One- and Two-Family Residential) to CC1 (City Centre 1) to allow for a six-storey apartment building with approximately 77 residential rental units. The unit makeup is comprised of 25 one-bedrooms, 4 one-bedrooms with den, 47 two-bedrooms, and 1 three-bedroom unit. All proposed ground floor units facing Bray Avenue or Rita Road have individually accessed entrances from the street, allowing the proposal to meet the CC1 zoning requirement to have a minimum of 80% active building frontage. While each unit has a private balcony, the proposal also includes a 105 m<sup>2</sup> (5% of the total lot area) outdoor common amenity area in the northwest corner of the site that includes shade tolerant plantings and outdoor seating to allow for resident gathering. To remain consistent with other rezoning applications, Council may wish to require that this building be constructed with electric heat pumps.

Site access is located on Bray Avenue near the western property boundary, providing access to surface parking and the single floor of underground parking. This allows the surface parking to be hidden behind the primary Rita Road frontage. The building is designed so that the second floor and above are extended out above the surface parking, providing partial coverage of the parking stalls. For reference, the site plan has been attached to this report.

The applicant had originally requested setback variances to the allowable projections of balconies but have since worked with staff to remove the request for the variance. Staff also requested that the project architect look at lifting the building slightly to allow the ground floor units to have a slight grade change from the sidewalk. This allows for much better privacy for ground floor residents and creates a better interface with the sidewalk. Although there will be a few steps up from the sidewalk, accessible access to the units will still be provided through the interior corridor. The applicant and project architect were able to integrate this staff suggestion into their design which will be further secured through the development permit process.

The applicant has provided a conceptual rendering of the proposed development to demonstrate the intended form and character, shown below in Figure 2. The building exhibits a modern design with proposed materials of Hardie panel, Hardie plank, stone veneer, and accents of wood siding.

**Figure 2: Conceptual Rendering**



#### Vehicle and Bicycle Parking

As noted previously, the applicant is seeking a parking variance to reduce the required parking on-site from 1.25 parking spaces per unit (96 stalls), to 1.10 parking stalls per unit (85 stalls). To support their request, the applicant has provided staff with a parking study. The parking study has found that this project will have a Walk Score of 75, which warrants that this building could provide as little as 73 parking stalls based on 77 units. Given that the applicant is intending to still provide 85 parking stalls, Council may wish to authorize the Director of Development Services to issue this parking variance request within the form and character Development Permit. Despite the parking variance, there will still be enough parking for each unit to have one assigned parking stall.

As per the zoning bylaw, all residential stalls, excluding visitor, will be constructed to include conduits capable of providing wiring for Level 2 Electric Vehicle charging. To remain consistent with other developments, Council may wish to require the applicant to register a separate covenant at the time of building permit that ensures residential parking is not provided in exchange for compensation separate from that of the residential unit.

Council may also wish to note that the applicant is required to provide at least one bike parking stall per unit, which would equal a total of 77. The applicant is proposing 85 secure indoor bike stalls, in addition to an exterior bike rack near the front entrance for visitor usage that can accommodate another 6 bikes. The indoor secure bike stalls are in the form of individual storage lockers dispersed through the 2<sup>nd</sup> through 6<sup>th</sup> floors. These storage lockers allow for dual use for both bicycles and individual storage of seasonal items.

**Table 3: Proposal Data**

	<b>Permitted by R2 (Current Zoning)</b>	<b>Permitted by CC1 (Proposed Zoning)</b>	<b>Proposed by this Rezoning Application</b>
<i>Permitted Use</i>	Single family homes, duplexes, townhomes	Apartments and commercial uses	Apartment, no commercial uses
<i>Density (FAR and/or min. lot size)</i>	400 m <sup>2</sup> min. lot size	5.0 FAR	3.34 FAR
<i>Height</i>	11 m	6 storeys	6 storeys
<i>Site Coverage</i>	50%	n/a	71.92%
<i>Front Yard Setback (Bray Avenue)</i>	3 m / 5.5 m for a garage or carport	2 m - 1 <sup>st</sup> & 2 <sup>nd</sup> floors 4m – 3 <sup>rd</sup> – 6 <sup>th</sup> floors	2.05 m – 1 <sup>st</sup> & 2 <sup>nd</sup> floors 4.03 m – 3 <sup>rd</sup> – 6 <sup>th</sup> floors
<i>Interior Side Yard Setback</i>	1.5 m	3 m	3.46 m
<i>Exterior Side Yard Setback (Rita Road)</i>	3 m / 5.5 m for a garage or carport	2 m - 1 <sup>st</sup> & 2 <sup>nd</sup> floors 4m – 3 <sup>rd</sup> – 6 <sup>th</sup> floors	2 m - 1 <sup>st</sup> & 2 <sup>nd</sup> floors 4m – 3 <sup>rd</sup> – 6 <sup>th</sup> floors
<i>Rear Yard Setback</i>	3 m	3 m	3 m
<i>Vehicle Parking Requirement</i>	1 per each dwelling unit	1.25 spaces per unit	<b>1.10 spaces per unit*</b>
<i>Bicycle Parking Requirement</i>	n/a	1 per unit	1.10 per unit secure indoors, plus 6 outside entrance for visitors. Total of 91. An excess of 17.

**\*Variance requested**

#### Trees and Landscaping

As part of their application, the applicant has submitted an arborist report to assess on- and off-site trees that may be impacted by the proposed development. The report identified two on-site trees subject to the City's Tree Bylaw (having a diameter at breast height of 20 cm or more). The arborist has noted that both trees, a Deodar cedar and a Douglas-fir, will need to be removed if the development is approved due to their location within the proposed building footprint.



The arborist also identified one off-site tree that may be impacted by the proposed underground parking, located on the neighbouring property to the north at 2862 Rita Road – a City owned lot. The arborist noted that this tree may need to be removed as it may be impacted by the proposed parkade, but that they would have to determine the outcome at the time of construction. The Director of Parks, Recreation, and Facilities noted they would likely not grant the required consent to remove the Garry oak on the City owned parcel at 2862 Rita Road should it be determined that the removal is necessary. As such, the developer has since changed the footprint of the parkade to remove the risk to the Garry oak. The arborist report has been attached to this report for reference, but Council should note that this report was done prior to the change to the parkade footprint, reducing the risk to the Garry oak.

Council may wish to require through a Section 219 Covenant that tree protection fencing be installed to protect the Garry-oak tree, as per the arborist report, prior to the commencement of work on site.

The applicant has also provided a conceptual landscape plan to support their application which has been attached to this application for reference. While the applicant is proposing shrubbery, there are no on-site trees proposed due to limited space. Instead, the applicant is demonstrating 10 street trees which exceeds the requirements of the City's Subdivision and Development Servicing Bylaw, Bylaw No. 1000. Bylaw No. 1000 calls for one street tree for every 12 m of street frontage, which would require a total of 8 street trees for the subject proposal. Council may wish to secure that the extra two street trees be planted through the Section 219 Covenant since it is over and above our standard bylaw requirements. The Parks Department will confirm the locations of the trees through the civil drawing review prior to the issuance of a building permit. Additionally, the Parks Department has requested that the Section 219 Covenant ensures the owner maintains the boulevard landscaping from the back of the sidewalk, excluding the street trees which will be maintained by the City.

### MULTI-MODAL NETWORK

#### FRONTAGE IMPROVEMENTS

The Director of Engineering has noted that full frontage requirements to Bylaw No. 1000 standards will be required, including but not limited to the following:

Bray Avenue – a 2.2 m wide concrete sidewalk, 2.6 m wide scallop parking, separated boulevard with trees, landscaping, irrigation, a 3.2 m drive lane, a 1.5 m bike lane, and streetlights.

Rita Road – a 1.8 m wide concrete sidewalk, separated boulevard with trees on both sides of the sidewalk, landscaping, irrigation, a 4.25 m drive lane, road edge parking, and streetlights.

The Director of Engineering has requested that Council require the developer to extend the sidewalk along Rita Road beyond the frontage of the development site north to the corner of Rita Road and Tennis Court Lane, in front of the City owned property at 2862 Rita Road. This will complete a sidewalk link to Tennis Court Lane which provides access to Centennial Park. As this portion of sidewalk will be well utilized by the neighbourhood, Council may wish to allow the developer to use their General Amenity Contributions towards the portion of sidewalk that extends beyond their frontage and incorporate it into the bylaw.

The applicant provided a frontage drawing to staff to demonstrate their ability to complete the required frontage improvements, as such, no road dedication was requested.

#### PEDESTRIAN, CYCLING AND MOTORIST NETWORK

As noted, the subject properties are well located within the Langford City Centre with good access to shops, services, and transit options. Sidewalk in front of the building will be installed along the frontage of both Bray Avenue and Rita Road, and extended to Tennis Court Lane, as discussed above. Bike lanes exist along Jacklin Road and Carlow Road, with a connection anticipated along Bray Avenue. Multiple projects are under construction along Bray which are required to complete a bike lane in their frontage, inclusive of this proposal. As noted previously, this site is approximately 300 m from the E&N Trail which provides direct walking and cycling access to Victoria. The nearest bus stop is a 3-minute walk from the site and the Langford Transit Exchange is an approximate 10-minute walk. These bus stops provide many regional connections, including the West Shore Blink Rapid Bus that provides high frequency trips to downtown Victoria. The nearest MODO carshare vehicle is located in front of Langford City Hall, approximately 850 m from the site. The Director of Engineering did not request a traffic study for the proposed development. The Ministry of Transportation and Infrastructure has noted that they have no objections to the proposal and BC Transit has expressed support.

#### Infrastructure

##### DRAINAGE AND STORMWATER

The applicant has submitted a stormwater technical memo prepared by an engineer outlining how they plan to manage stormwater on-site. This memo has been reviewed and approved by the Director of Engineering.

##### SEWERS

A sewer main exists along Bray Road and a connection from the building to this main would be required. Any improvements, extensions, or modifications needed to the sewer main within the municipal road right-of-way will be completed by West Shore Environmental Services at the applicant's expense.

#### Construction Impact Mitigation

Council may wish to require a Construction Parking and Delivery Management Plan as a condition of rezoning and require that it be provided to the satisfaction of the Director of Engineering prior to any land alteration. This should be secured within a covenant, prior to Bylaw Adoption.

##### CONSTRUCTION STAGING/ENCROACHMENTS

Any construction staging beyond the property limits requires a construction licence with the City, including but not limited to temporary above or below ground occupancy of any public lands or rights-of-way. Construction licences must be executed prior to any land alteration and are subject to non-

negotiable terms, conditions, and one-time and/or daily fees. All permanent encroachments and above ground temporary construction licences on public lands or rights-of-way are subject to Council approval.

#### Nuisance easement

Council may wish to require that the applicant provide a Section 219 Covenant registered on title prior to Bylaw Adoption that provides future landowners with the understanding that Centennial Park is located nearby, and that park and recreation uses, inclusive of sports tournaments, may result in noise or general nuisances, and that future landowners understand and accept the potential disruption to their residential occupancy of the site.

#### Neighbourhood Consultation

The applicant distributed 50 notices to residents of the immediate neighbourhood advising them of the application and providing their contact information for feedback. The applicant only heard back from one neighbour who had questions about the setback variances. As discussed earlier, the developer has removed the variance request from their application after redesigning the project to remove the necessity.

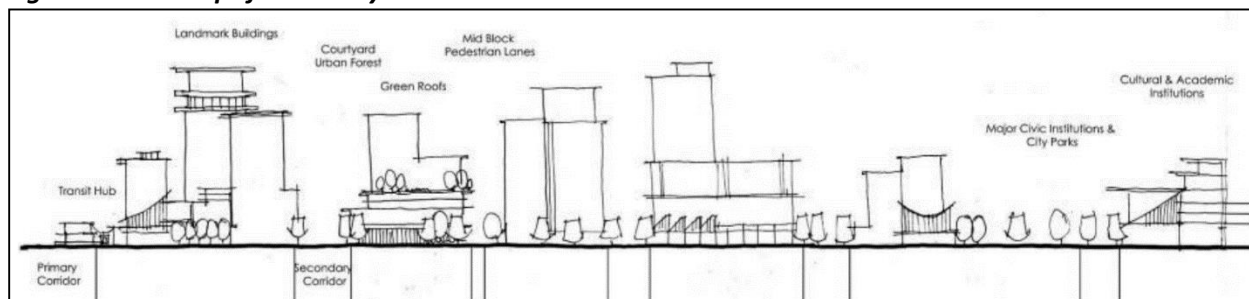
#### COUNCIL POLICY

##### OFFICIAL COMMUNITY PLAN

The Official Community Plan (OCP) Bylaw No. 1200 designated the subject properties as City Centre, which is defined by the following text:

- A major regional growth centre that supports a wide range of high-density housing, including affordable and rental housing
- A major employment area for institutional, office, commercial, light industrial uses
- Major civic uses and public buildings are key landmarks
- A major place of community gathering and celebration
- A wide range of public squares, parks and open spaces are integrated throughout
- The City's major entertainment and/or cultural precinct
- Inter-city and/or inter-regional transit hub connect residents

**Figure 2: A Concept for the City Centre**



The proposal meets many objectives of the City's OCP such as locating high intensity development in and around centres and near transit corridors, provides ground floor units to ensure "eyes on the street," and active, street-oriented design.

#### DESIGN GUIDELINES

The subject properties are located within the "S1: Centennial Park" neighbourhood of the City Centre Design Guidelines as outlined below. For this region of the City Centre, the design intent is as follows:

### S1 Centennial Park

Surrounding a large green space, the Centennial Park neighbourhood boasts late century single-family dwellings located on cul-de-sac roads.

This neighbourhood is very suitable for mixed-use development, shared streets and enlarged walkways as well as high-density apartment buildings near Goldstream Avenue.

Other opportunities for development in this neighbourhood include townhouses and medium-density apartments to replace the single-family dwellings on cul-de-sacs and shared streets.

Emphasis within the Centennial Park neighbourhood shall be placed on a family focus and being able to move through the housing continuum by addressing various housing types.



Further to these Neighborhood Guidelines, 950 Bray Avenue and 2870 Rita Road were identified as being appropriate for consideration of the CC1 Zone on the City Centre Concept Map forming part of the City Centre Design Guidelines. The CC1 Zone allows for apartment buildings with optional ground floor commercial and a maximum height of 6-storeys. While 2866 Rita Road was identified as being appropriate for consideration of the CC2 Zone (maximum height of 4-storeys), the guideline states that where a land assembly proposes to consolidate parcels within multiple designation areas, the higher density Zone may be applied for. As such, this proposal is consistent with the City Centre Concept Map. Council may wish to note that the applicant is proposing an entirely residential building, with no ground floor commercial units.

#### DEVELOPMENT PERMIT AREAS

The subject properties are not located within any of the Environmental Protection or Hazardous Area Development Permit Areas. However, these properties are located within the City Centre Development

Permit Area and since the proposal is for a multi-family development, a Development Permit for Form and Character will be required.

#### LOW CARBON CONCRETE

In accordance with Council's Low Carbon Concrete Policy POL-0167-PLAN, Council may wish to require the applicant to utilize ready-mix concrete that meets or exceeds the weighted average Global Warming Potential targets based on Concrete BC Baseline (average) mix data for the construction of the proposed development.

#### ATTAINABLE HOUSING POLICY

Currently, the City's Attainable Housing Policy requires all new developments with 4-storeys or more to participate in the program but does not set out specific requirements for purpose built rental buildings. On February 21st, 2023, Council passed a resolution to direct staff to add requirements for purpose-built rental buildings for Council's consideration and to review individual proposals on a case-by-case basis in the interim, provided they meet a benchmark of including at least 10% of the units in a building for at least 10% below market rent. As we are still in the interim stage, the applicant has committed to providing at least 10% of the units at 10% below market rate, as per Council's resolution, or otherwise meet the City's current Attainable Home Ownership Policy, in the event that they proceed with a condo building. Council may wish to require the applicant to enter into a Housing Agreement securing the units prior to the issuance of a building permit. The specific units will be confirmed through the development permit process.

#### FINANCIAL IMPLICATIONS:

Rezoning the subject properties to permit higher density of development will increase the assessed value of lands and eventually will increase municipal revenue due to the number of units created. As the developer is responsible to complete all frontage improvements, the direct capital costs to the City associated with this development will be negligible. A summary of Amenity Contributions and Development Cost Charges that the developer will be expected to pay, is outlined in Tables 4 and 5 below.

#### COUNCIL'S AMENITY CONTRIBUTION POLICY

The amenity contributions that apply as per Council's current Affordable Housing and Amenity Contribution Policy are summarized in Table 4 below, based the current floor plans and total density of 77 residential units.

**Table 4 – Amenity Contributions per Council Policy**

Amenity Item	Per unit contribution	Total (77)
<i>General Amenity Reserve Fund*</i>	\$2,850 per unit (1st through 4 <sup>th</sup> storeys)	@ 49 units = \$139,650
	\$1,425 per unit (5 <sup>th</sup> & 6 <sup>th</sup> storeys)	@ 28 units = \$39,900
	\$750 per unit (1st through 4 <sup>th</sup> storeys)	@ 49 units = \$36,750

<i>Affordable Housing Reserve Fund</i>	\$375 per unit (5 <sup>th</sup> and 6 <sup>th</sup> storeys)	@ 28 units = \$10,500
<b>TOTAL POLICY CONTRIBUTIONS</b>		<b>\$226,800**</b>

\*The total contribution to the General Amenity Reserve Fund may be reduced by the amount equal to the cost of constructing the sidewalk extension to Tennis Court Lane.

\*\*Any below market rental units are subject to a 50% reduction in amenity fees on the 1<sup>st</sup> through 4<sup>th</sup> floors, as per the City's Affordable Housing and Amenity Contribution Policy. The applicant has committed to providing 10% of the units at a below market rate. Should the applicant pursue this project as an ownership building as per Council's Attainable Home Ownership Program Policy (Policy No. POL-0166-PLAN), the applicant will be eligible for a refund of amenity contributions for the units sold through the Program.

**Table 5 - Development Cost Charges**

<b>Development Cost Charge</b>	<b>Per Unit Contribution</b>	<b>Total (77 units)</b>
<i>Roads</i>	\$3,092.39	\$238,114.03
<i>Parks Acquisition and Improvements</i>	\$1,438	\$110,726
<i>ISIF</i>	\$338.08	\$26,032.05
<b>Subtotal (DCC's to Langford)</b>		<b>\$374,872.08</b>
<i>CRD Water</i>	\$1,644	\$126,588
<i>School Site Acquisition</i>	\$600	\$46,200
<b>TOTAL DCC's (estimated)</b>		<b>\$547,660.08</b>

#### **LEGAL IMPLICATIONS:**

Should Council choose to proceed with consideration of Bylaw No. 2199, the application will be prohibited from being the subject of a Public Hearing, as per the changes made by the Province to the *Local Government Act* through *The Housing Statutes (Residential Development) Amendment Act, 2023*.

The amenity contributions specified in Table 4 above are incorporated into Bylaw No. 2199 and will be payable at the time of building permit along with the current Development Cost Charges specified in the various DCC Bylaws.

Council's other conditions of approval would be registered in a Section 219 Covenant in priority of all other charges on title prior to consideration of Bylaw Adoption.

## OPTIONS:

### Option 1

That the Sustainable Development Advisory Committee recommend that Council:

1. Proceed with consideration of First, Second, and Third Reading of Bylaw No. 2199, following public notification, to amend the zoning designation of the properties located at 2866 Rita Road, 2870 Rita Road, and 950 Bray Avenue from One- and Two-Family Residential (R2) to City Centre (CC1) subject to the following terms and conditions:

- a. That the applicant provides, **as a bonus for increased density**, the following contributions per dwelling unit, **prior to the issuance of a building permit approval**:

- i. \$750 towards the Affordable Housing Reserve Fund; and
- ii. \$2,850 towards the General Amenity Reserve Fund;

Subject to reductions in accordance with the Affordable Housing and Amenity Contribution Policy and the Attainable Housing Policy depending on use and height.

- b. That the applicant, **prior to Bylaw Adoption**, registers a Section 219 covenant in priority of all other charges on title, that agrees to the following:
  - i. That the following will be provided and implemented to Bylaw No. 1000 standards to the satisfaction of the Director of Engineering prior to the issuance of a building permit:
    1. Full frontage improvements; and
    2. A storm water management plan.
  - ii. That the following will be provided and implemented to Bylaw No. 1000 standards to the satisfaction of the Director of Engineering prior to any land alteration:
    1. A construction parking management plan; and
    2. A mitigation plan.
  - iii. That the sidewalk will be extended beyond the frontage on Rita Road to the corner of Tennis Court Lane at the developer's expense, to the satisfaction of the Director of Engineering;
  - iv. That the properties be consolidated prior to issuance of a Development Permit for Form and Character;
  - v. That a separate covenant be registered prior to issuance of a building permit for the proposed development that ensures residential parking is allocated to each unit and visitors and is not provided in exchange for compensation separate from that of a

residential unit;

- vi. That tree protection measures, inclusive of tree protection fencing, are implemented by the project arborist prior to commencement of work to protect the Garry-oak tree located on 2862 Rita Road, and maintained throughout the construction period;
- vii. That all concrete used on-site will utilize ready-mix concrete that meets or exceeds the weighted average Global Warming Potential targets based on Concrete BC Baseline (average) mix data, and that prior to the issuance of a Building Permit the applicant shall provide a Type III Environmental Product Declaration that is 3<sup>rd</sup> party verified specifying the total Global Warming Potential value and confirming that the proposed development meets the requirements of Low Carbon Concrete Policy POL-0167-PLAN;
- viii. That, prior to the issuance of a Building Permit, the developer enters into a Housing Agreement with the City that requires a minimum 10% of units constructed be rented for at least 10% below the benchmark rent for the unit type for a term not less than 25 years or that a minimum of 5% of units constructed be directed to and sold in accordance with the terms of the Attainable Home Ownership Program Policy (POL-0166-PLAN). The developer shall identify the Attainable Units on the plans submitted for the required Development Permit application;
- ix. That the building be constructed with electric heat pumps;
- x. Acknowledgement that the site is in proximity to Centennial Park which may be utilized for various recreation uses, inclusive of sports tournaments, which may result in general noise and nuisances, and that the owner and all future owners assume all risk and annoyance of such nuisances;
- xi. That a minimum of ten street trees will be planted in the frontage, to the satisfaction of the Director of Parks, Recreation, and Facilities; and
- xii. That the strata be responsible for maintaining the boulevard landscaping from the back of the sidewalk with the exception of boulevard trees;

AND

- 2. Authorize the Director of Development Services to grant the following variance within the required development permit:
  - a. That Section 4.01.01 be varied to reduce the required parking from the required 1.25 space per residential unit to 1.1 spaces per residential unit.



**OR Option 2**

That the Sustainable Development Advisory Committee recommend that Council take no action with respect to this application to rezone 2866 Rita Road, 2870 Rita Road, and 950 Bray Avenue under Bylaw 2199 until such time as the following items are addressed and reviewed by the Sustainable Development Advisory Committee:

- a. \_\_\_\_\_;
- b. \_\_\_\_\_;
- c. \_\_\_\_\_;

**SUBMITTED BY: Julia Buckingham, Planner II**

**Concurrence:** Matthew Baldwin, RPP, MCIP, Director of Development Services  
**Concurrence:** Leah Stohmann, RPP, MCIP, Director of Community Planning and Climate Change  
**Concurrence:** Melisa Miles, Manager of Legislative Services  
**Concurrence:** Donna Petrie, Senior Manager of Communications & Economic Development  
**Concurrence:** Yari Nielsen, Director of Parks, Recreation and Facilities  
**Concurrence:** Katelyn Balzer, P.Eng., Director of Engineering and Public Works  
**Concurrence:** Michael Dillabaugh, CPA, CA, Director of Finance  
**Concurrence:** Braden Hutchins, Deputy Chief Administrative Officer

## Attachments:

Site Plan

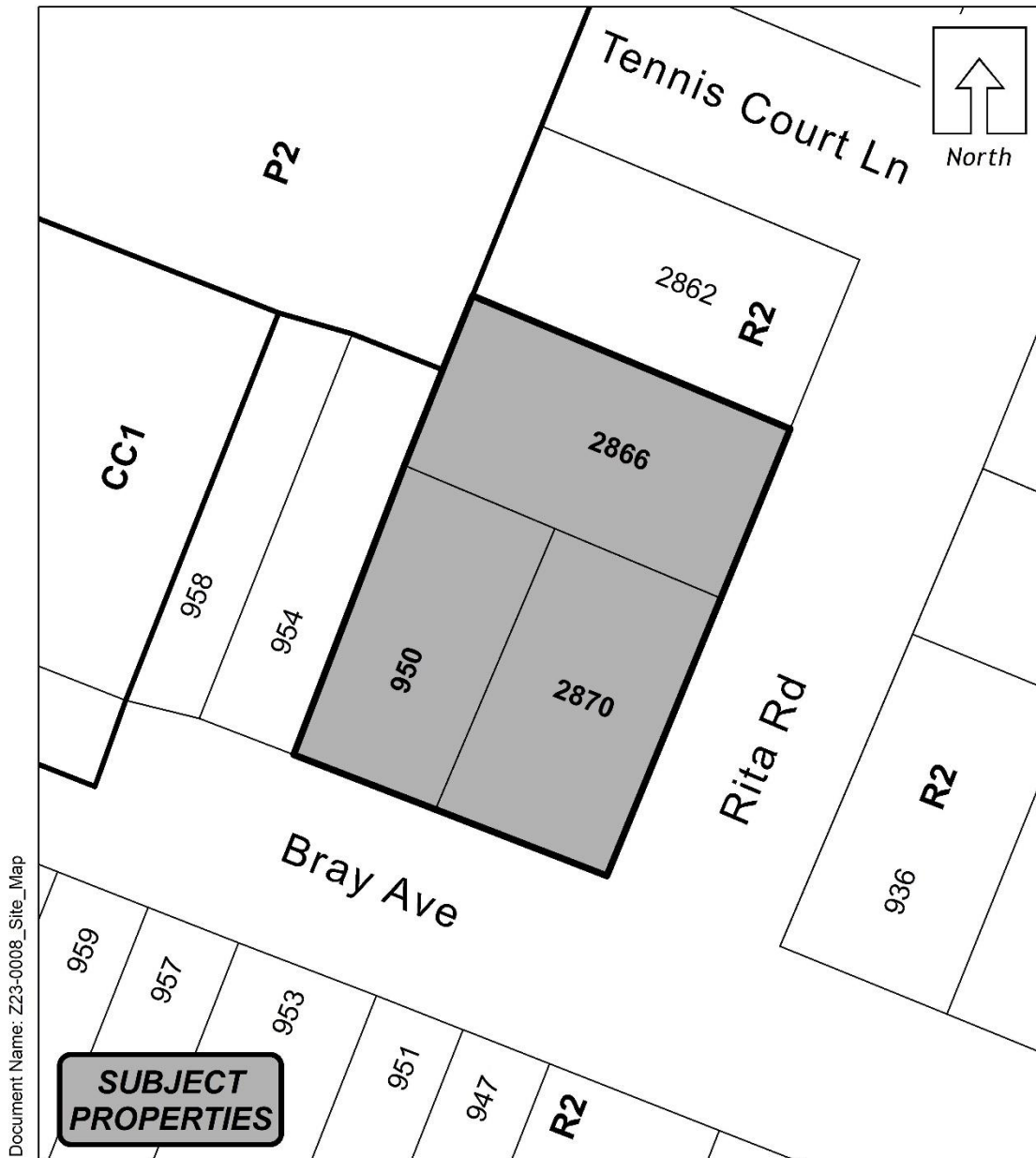
Arborist Report

Landscape Plan

Bylaw No. 2199

**Appendix A – Site Map**

**REZONING BYLAW AMENDMENT  
 ( Z23-0008 )  
 950 Bray Ave, 2866, 2870 Rita Rd**



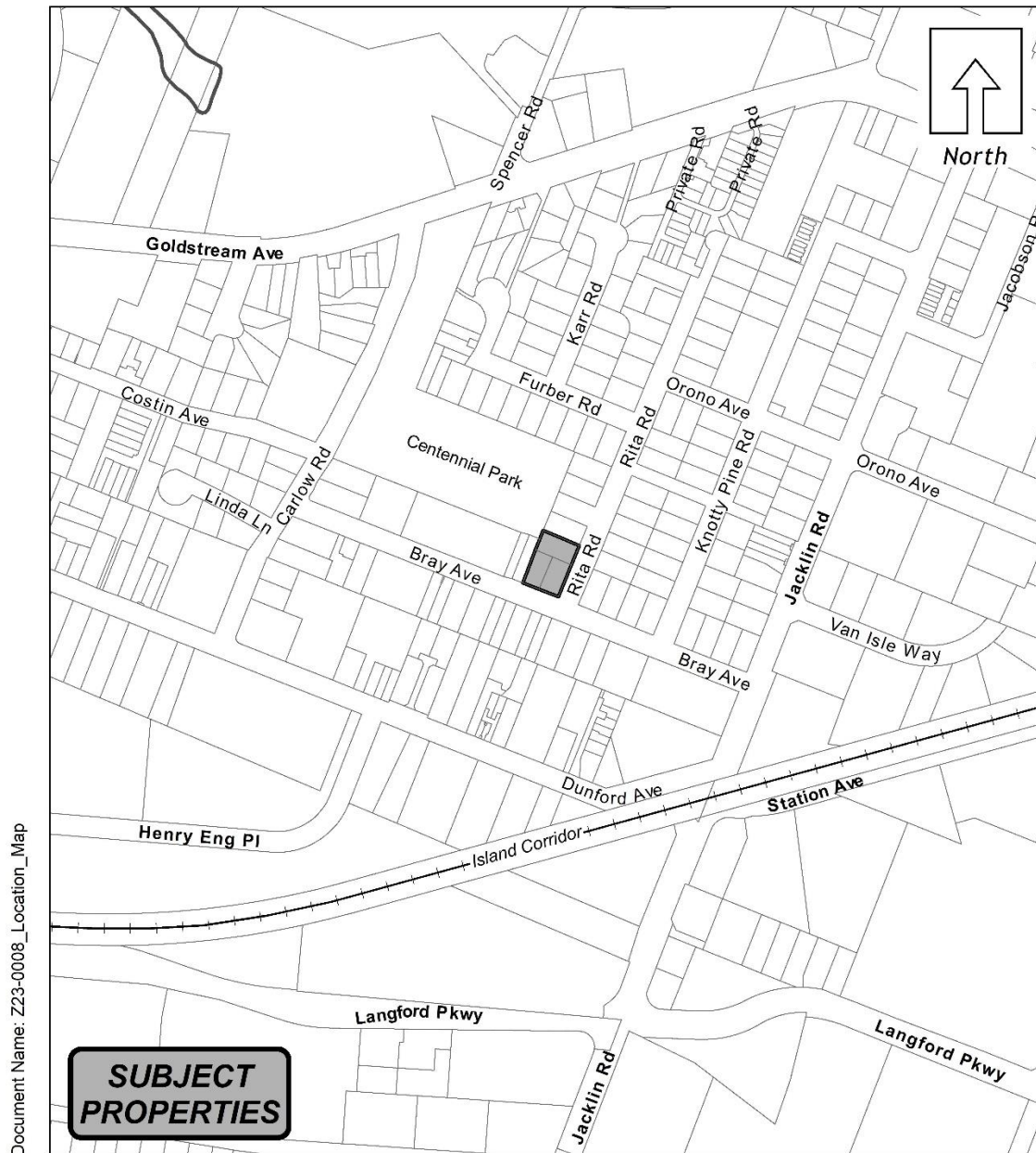
Document Name: Z23-0008\_Site\_Map

Scale: N.T.S.

Last Revised: 2024-06-18

**Appendix B – Location Map**

**REZONING BYLAW AMENDMENT  
 ( 223-0008 )  
 950 Bray Ave, 2866, 2870 Rita Rd**



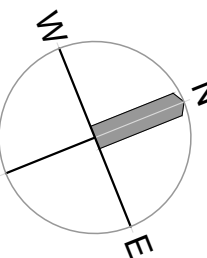
Scale: N.T.S.

Last Revised: 2024-06-18





project north:



issue / revisions:

Issue / Revisions	Date
4 ISSUED FOR REZONING & DP	28 AUG '24
3 ISSUED FOR REZONING	27 MAY '24
2 REZONING COORD	23 APR '24
1 FOR REVIEW	25 FEB '24
No. Issued / Revisions	Date

alan lowe architect inc.

118 - 21 Erie St. Victoria, British Columbia t 250.360.2888

seal:



project title:

6 STOREY RESIDENTIAL BUILDING, 77 UNITS

950 BRAY AVE. 2870,2866 RITA RD. LANGFORD, BC

drawing title:

MAIN FLOOR PLAN

project no.: 24.157

date: 28 AUG '24 scale: AS NOTED

checked by: LOWE drawn by: NA, RM

sheet no.:

A2.1

BRAY AVE.

RITA ROAD

1 MAIN FLOOR  
A2.1 SCALE: 1/8" = 1'0"





Box 48153 RPO - Uptown Victoria, BC V8Z 7H6  
Ph: (250) 479-8733  
Fax: (250) 479-7050  
Email: Trees@Talmack.ca

**950 BRAY AVENUE &  
2866-2870 RITA ROAD—LANGFORD, BC**

**CONSTRUCTION IMPACT ASSESSMENT &  
TREE MANAGEMENT PLAN**

PREPARED FOR: Eden Developments  
942 Park Royal South  
West Vancouver, BC  
V7T 2W4

PREPARED BY: Talmack Urban Forestry Consultants Ltd.  
Robert McRae – Consulting Arborist  
ISA Certified # PN-7125A  
Tree Risk Assessment Qualified  
Tree Appraisal Qualified

DATE OF ISSUANCE: May 7, 2024

CONTENTS

1. INTRODUCTION ..... 1

2. TREE INVENTORY METHODOLOGY ..... 1

3. EXECUTIVE SUMMARY ..... 1

4. TREE INVENTORY DEFINITIONS ..... 1

5. SITE INFORMATION & PROJECT UNDERSTANDING ..... 5

6. FIELD OBSERVATIONS ..... 5

7. TREE RISK ASSESSMENT ..... 6

8. CONSTRUCTION IMPACT ASSESSMENT..... 6

    8.1. RETENTION AND REMOVAL OF ON-SITE TREES .....6

    8.2. RETENTION AND REMOVAL OF OFF-SITE TREES .....6

        8.2.1. ADDITIONAL MITIGATION MEASURES FOR OS1 .....6

9. IMPACT MITIGATION ..... 7

10. DISCLOSURE STATEMENT ..... 9

11. IN CLOSING ..... 10

12. REFERENCES ..... 10

13. COMPANY INFORMATION ..... 10

TABLES

TABLE 1. TREE INVENTORY.....4

APPENDICES

APPENDIX A TREE MANAGEMENT PLAN

REVISION RECORD

REVISION	DESCRIPTION	DATE (YYYY-MM-DD)	ISSUED BY
0	Original CIA/TMP report for the proposed construction.	2024-04-07	RM

## 1. INTRODUCTION

Talmack Urban Forestry Consultants Ltd. was engaged to complete a tree inventory, construction impact assessment and tree management plan for the trees at the following proposed project:

<b>Site:</b>	950 Bray Avenue & 2866-2870 Rita Road
<b>Municipality:</b>	City of Langford
<b>Client Name:</b>	Eden Developments
<b>Dates of Site Visit(s):</b>	May 3, 2024 (initial inventory)
<b>Site Conditions:</b>	3 flat residential lots with no ongoing construction activity.
<b>Weather During Site Visit:</b>	Sunny

The purpose of this report is to address requirements of the City of Langford arborist report terms of reference and Tree Protection Bylaw No. 2117. The construction impact assessment section of this report (section 8) is based on plans reviewed to date, including site survey by Powell & Associates (dated March 23, 2023) and building plans from Alan Lowe Architect Inc. (dated April 23, 2024).

## 2. TREE INVENTORY METHODOLOGY

For the purposes of this report: the size, health, and structural condition of trees were documented. For ease of identification in the field, numerated metal tags are attached to the lower trunks of onsite trees. Trees located on neighbouring properties, the municipal frontage or in areas where access was restricted, were not tagged. Each tree was visually examined on a limited visual assessment basis (level 1), in accordance with Tree Risk Assessment Qualification (TRAQ) methods (Dunster *et al.* 2017) and ISA Best Management Practices.

## 3. EXECUTIVE SUMMARY

Based on our review of the building plans, two (2) on-site trees (20cm DBH or above, as defined by Bylaw No. 2117) are likely to require removal due to impacts from the proposed construction.

One (1) off-site tree has been assigned the retention status “to be determined (TBD)”, to be finalized by the project arborist at the time of construction, or as further information is provided.

## 4. TREE INVENTORY DEFINITIONS

**Tag:** Tree identification number on a metal tag attached to tree with nail or wire, generally at eye level. Trees on municipal or neighboring properties are not tagged.

**NT:** No tag due to inaccessibility or ownership by municipality or neighbour.

**DBH:** Diameter at breast height – diameter of trunk, measured in centimetres at 1.4m above ground level. For trees on a slope, it is taken at the average point between the high and low side of the slope.

\* Measured over ivy

~ Approximate due to inaccessibility or on neighbouring property

**Dripline:** Indicates the radius of the crown spread measured in metres to the dripline of the longest limbs.

**Relative Tolerance Rating:** Relative tolerance of the tree species to construction related impacts such as root pruning, crown pruning, soil compaction, hydrology changes, grade changes, and other soil disturbance. This rating does not consider individual tree characteristics, such as health and vigor. Three ratings are assigned based on our knowledge and experience with the tree species: Poor (P), Moderate (M) or Good (G).

**Critical Root Zone:** A calculated radial measurement in metres from the trunk of the tree. It is the optimal size of tree protection zone and is calculated by multiplying the DBH of the tree by 6, 8, 10, 12 or 15 depending on the tree's Relative Tolerance Rating. This methodology is based on the methodology used by Nelda Matheny and James R. Clark in their book "Trees and Development: A Technical Guide to Preservation of Trees During Land Development."

- 15 x DBH = Poor Tolerance of Construction
- 12 x DBH = Moderate
- 10 x DBH = Good

To calculate the critical root zone, the DBH of multiple stems is considered the sum of 100% of the diameter of the largest stem and 60% of the diameter of the next two largest stems. It should be noted that these measures are solely mathematical calculations that do not consider factors such as restricted root growth, limited soil volumes, age, crown spread, health, or structure (such as a lean).

#### **Health Condition:**

- Poor – significant signs of visible stress and/or decline that threaten the long-term survival of the specimen
- Fair – signs of stress
- Good – no visible signs of significant stress and/or only minor aesthetic issues

#### **Structural Condition:**

- Poor – Structural defects that have been in place for an extended period of time to the point that mitigation measures are limited
- Fair – Structural concerns that are possible to mitigate through pruning
- Good – No visible or only minor structural flaws that require no to very little pruning

Suitability ratings are described as follows:

#### **Rating: Suitable.**

- A tree with no visible or minor health or structural defects, is tolerant to changes to the growing environment and is a possible candidate for retention provided that the critical root zone can be adequately protected.



**Rating: Conditional.**

- A tree with good health but is a species with a poor tolerance to changes to its growing environment or has a structural defect(s) that would require that certain measures be implemented, in order to consider it suitable for retention (i.e., retain with other codominant tree(s), structural pruning, mulching, supplementary watering, etc.)

**Rating: Unsuitable.**

- A tree with poor health, a major structural defect (that cannot be mitigated using ANSI A300 standards), or a species with a poor tolerance to construction impacts, and unlikely to survive long term (in the context of the proposed land use changes).

**Retention Status:**

- Remove (X) – Not possible to retain given proposed construction plans
- Retain – It is possible to retain this tree in the long-term given the proposed plans and information available. This is assuming our recommended mitigation measures are followed
- Retain \* - See report for more information regarding potential impacts
- TBD - Retention status “to be determined” at the time of construction

TABLE 1. TREE INVENTORY

Tag or ID#	Surveyed? (Yes/No)	Location (On, Off, Shared, City)	Bylaw-defined? (Yes/No)	Name		dbh (cm)	Dripline diameter (m)	Critical root zone radius (m)	Relative Tolerance	Condition		Retention Suitability (on-site trees)	General field observations/remarks	Tree retention / location comments	Retention status
				Common	Botanical					Health	Structural				
587	Yes	On-site	Yes	Deodar cedar (columnar)	<i>Cedrus deodara</i>	29	8	3.5	Moderate	Good	Fair	Unsuitable	Growing ~0.5m from foundation, has been pruned for building clearance, failed limb (hanger), deflect top	Within proposed building footprint.	X
588	Yes	On-site	Yes	Douglas-fir	<i>Pseudotsuga menziesii</i>	92	14	11	Moderate	Good	Good	Unsuitable	Some historic small limb failures	Within proposed building footprint.	X
OS1	Yes	Off-site	Yes	Garry oak	<i>Quercus garryana</i>	~47, ~30	12	6.5	Good	Fair	Fair	N/A	Some stress (epicormics), stout stature, codominant union	Potential impacts from parkade.	TBD

## 5. SITE INFORMATION & PROJECT UNDERSTANDING

The development site consists of three residential properties (950 Bray Avenue & 2866-2870 Rita Road) in Langford, B.C., which have existing residences on each lot. It is our understanding that the proposal is to demolish the existing structures and driveways (including decommissioning of existing services), followed by construction of a new multi-unit residential complex. **At this time, we have not reviewed a site servicing plan**, though it does not appear that servicing from either the Bray Avenue or Rita Road frontage will impact trees proposed for retention.

Below is a general observation of the tree resource, as it appeared at the time of our site visit(s):

## 6. FIELD OBSERVATIONS

The on and off-site tree resource consists primarily of native species growing in open landscape conditions (see [Figure 1](#)):



**Figure 1:** Site context air photo: The approximate boundary of the subject site is outlined in blue.

## 7. TREE RISK ASSESSMENT

During our May 3 (2024) site visit and in conjunction with the tree inventory, on-site trees were assessed for risk on a limited visual basis (level 1), in the context of the existing land uses. The time frame used for the purpose of our assessment is one year (from the date of this report). Unless otherwise noted herein, we did not conduct a detailed (level 2) or advanced (level 3) risk assessment, such as resistograph testing, increment core sampling, aerial examinations, or subsurface root/root collar examinations.

### Existing Land Uses

We did not observe any trees that were deemed to be moderate, high, or extreme risk (in the context of the existing land uses, which would require hazard abatement to eliminate present and/or future risks) within a 1-year timeframe. Targets considered during this TRAQ assessment include: occupants of the existing residences on-site and neighbour's (constant use), occupants of vehicles travelling or parked on Bray Avenue or Rita Road (frequent use), pedestrians travelling along the existing roadways (occasional use), occupants of front, rear, and side yards on-site and neighbour's (occasional use), hydro lines (constant use).

## 8. CONSTRUCTION IMPACT ASSESSMENT

### 8.1. RETENTION AND REMOVAL OF ON-SITE TREES

---

The following bylaw-defined on-site trees (indicated by tag #) are located where they are likely to be severely impacted by construction and are proposed for removal:

#### Remove two (2) on-site trees

- #587, 588

### 8.2. RETENTION AND REMOVAL OF OFF-SITE TREES

---

The following off-site trees (indicated by ID#) are located where they may be possible for retention provided that the critical root zones are adequately protected during construction. The project arborist must be on site to supervise any excavation or fill placement required within the critical root zones—shown on the tree management plan in **Appendix A**:

#### Retain and protect one (1) off-site tree (if retention is desired by owner)

- OS1

**\*The tree owner(s) should be notified of potential impacts. Prior written consent from the tree owner(s) is required prior to the removal of any trees located on neighbouring properties.**

#### 8.2.1. ADDITIONAL MITIGATION MEASURES FOR OS1

---

The new underground parking facility is proposed within the CRZ of **Garry oak (*Quercus garryana*) OS1** (~47/30cm DBH):

- If a cut-slope is prescribed by a geotechnical engineer, over-excavation within the CRZ could result in significant impacts to OS1.
- If retention is desired by the tree owner(s), a shoring plan must be developed to restrict over-excavation to (preferably) 0.5m beyond the north property line.
- The project arborist must supervise all excavations within the CRZ and determine the final retention status based on the size and quantity of roots encountered (that require pruning). If excavations can be limited to 0.5m from the north property line, we anticipate the tree can be viable for long-term retention.
- Protective barrier fencing should be installed at the demolition phase and maintained at the edge of the CRZ until commencement of underground parking excavations, at which point the fencing may be relocated to the edge of the cut line (provided the project arborist is contacted). Permission must be granted by the tree owners to install barrier fencing on their property.

## 9. IMPACT MITIGATION

**Tree Protection Barrier:** The areas surrounding the trees to be retained should be isolated from the construction activity by erecting protective barrier fencing (see [Appendix A](#) for municipal barrier specifications). Where possible, the fencing should be erected at the perimeter of the critical root zone. The barrier fencing to be erected must be a minimum of 4 feet in height, of solid frame construction that is attached to wooden or metal posts. A solid board or rail must run between the posts at the top and the bottom of the fencing. This solid frame can then be covered with flexible snow fencing. The fencing must be erected prior to the start of any construction activity on site (i.e., demolition, excavation, construction), and remain in place through completion of the project. Signs should be posted around the protection zone to declare it off limits to all construction related activity. The project arborist must be consulted before this fencing is removed or moved for any purpose.

**Arborist Supervision:** All excavation occurring within the critical root zones of protected trees should be completed under supervision by the project arborist. Any severed or severely damaged roots must be pruned back to sound tissue to reduce wound surface area and encourage rapid compartmentalization of the wound. In particular, the following activities should be completed under the direction of the project arborist:

- Any excavations or additions of fill within the CRZs of protected trees to be retained.

**Methods to Avoid Soil Compaction:** In areas where construction traffic must encroach into the critical root zones of trees to be retained, efforts must be made to reduce soil compaction where possible by displacing the weight of machinery and foot traffic. This can be achieved by one of the following methods:

- Installing a layer of hog fuel or coarse wood chips at least 20 cm in depth and maintaining it in good condition until construction is complete.
- Placing medium weight geotextile cloth over the area to be used and installing a layer of crushed rock to a depth of 15-20 cm over top.
- Placing two layers of 19mm plywood.
- Placing steel plates.

**Demolition of the Existing Buildings:** The demolition of the existing houses, driveways, and any services that must be removed or abandoned, must take the critical root zone of the trees to be retained into account. If any excavation or machine access is required within the critical root zones of trees to be retained, it must be completed

under the supervision and direction of the project arborist. If temporarily removed for demolition, barrier fencing must be erected immediately after the supervised demolition.

#### **Paved Surfaces Above Tree Roots:**

If the new paved surfaces within the CRZ of tree to be retained require excavation down to bearing soil and roots are encountered in this area, this could impact their health and structural stability. If tree retention is desired, a raised and permeable paved surface should be constructed in the areas within the critical root zone of the trees. The “paved surfaces above root systems” diagram and specifications is attached.

The objective is to avoid root loss and to instead raise the paved surface and its base layer above the roots. This may result in the grade of the paved surface being raised above the existing grade (the amount depending on how close roots are to the surface and the depth of the paving material and base layers). Final grading plans should take this potential change into account. This may also result in soils which are high in organic content being left intact below the paved area.

To allow water to drain into the root systems below, we also recommend that the surface be made of a permeable material (instead of conventional asphalt or concrete) such as permeable asphalt, paving stones, or other porous paving materials and designs such as those utilized by Grasspave, Gravelpave, Grasscrete and open-grid systems.

**Mulching:** Mulching can be an important proactive step in maintaining the health of trees and mitigating construction related impacts and overall stress. Mulch should be made from a natural material such as wood chips or bark pieces and be 5-8cm deep. No mulch should be touching the trunk of the tree. See “methods to avoid soil compaction” if the area is to have heavy traffic.

**Blasting:** Care must be taken to ensure that the area of blasting does not extend beyond the necessary footprints and into the critical root zones of surrounding trees. The use of small low-concussion charges and multiple small charges designed to pre-shear the rock face will reduce fracturing, ground vibration, and overall impact on the surrounding environment. Only explosives of low phytotoxicity and techniques that minimize tree damage should be used. Provisions must be made to ensure that blasted rock and debris are stored away from the critical root zones of trees.

**Scaffolding:** This assessment has not included impacts from potential scaffolding including canopy clearance pruning requirements. If scaffolding is necessary and this will require clearance pruning of retained trees, the project arborist should be consulted. Depending on the extent of pruning required, the project arborist may recommend that alternatives to full scaffolding be considered such as hydraulic lifts, ladders, or platforms. Methods to avoid soil compaction may also be recommended (see “Minimizing Soil Compaction” section).

**Landscaping and Irrigation Systems:** The planting of new trees and shrubs should not damage the roots of retained trees. The installation of any in-ground irrigation system must consider the critical root zones of the trees to be retained. Prior to installation, we recommend the irrigation technician consult with the project arborist about the most suitable locations for the irrigation lines and how best to mitigate the impacts on the trees to be retained. This may require the project arborist supervise the excavations associated with installing the irrigation system. Excessive frequent irrigation and irrigation which wets the trunks of trees can have a detrimental impact on tree health and can lead to root and trunk decay.

**Arborist Role:** It is the responsibility of the client or his/her representative to contact the project arborist for the purpose of:

- Locating the barrier fencing
- Reviewing the report with the project foreman or site supervisor
- Locating work zones, where required



- Supervising any excavation within the critical root zones of trees to be retained
- Reviewing and advising of any pruning requirements for machine clearances

**Review and site meeting:** Once the project receives approval, it is important that the project arborist meet with the principals involved in the project to review the information contained herein. It is also important that the arborist meet with the site foreman or supervisor before any site clearing, tree removal, demolition, or other construction activity occurs and to confirm the locations of the tree protection barrier fencing.

## 10. DISCLOSURE STATEMENT

This arboricultural field review report was prepared by Talmack Urban Forestry Consultants Ltd. for the exclusive use of the Client and may not be reproduced, used, or relied upon, in whole or in part, by a party other than the Client without the prior written consent of Talmack Urban Forestry Consultants Ltd. Any unauthorized use of this report, or any part hereof, by a third party, or any reliance on or decisions to be made based on it, are at the sole risk of such third parties. Talmack Urban Forestry Consultants Ltd. accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on this report, in whole or in part.

Arborists are professionals who examine trees and use their training, knowledge, and experience to recommend techniques and procedures that will improve a tree's health and structure or to mitigate associated risks. Trees are living organisms whose health and structure change and are influenced by age, continued growth, climate, weather conditions, and insect and disease pathogens. Indicators of structural weakness and disease are often hidden within the tree structure or beneath the ground. The arborist's review is limited to a visual examination of tree health and structural condition, without excavation, probing, resistance drilling, increment coring, or aerial examination. There are inherent limitations to this type of investigation, including, without limitation, that some tree conditions will inadvertently go undetected. The arborist's review followed the standard of care expected of arborists undertaking similar work in British Columbia under similar conditions. No warranties, either express or implied, are made as to the services provided and included in this report.

The findings and opinions expressed in this report are based on the conditions that were observed on the noted date of the field review only. The Client recognizes that passage of time, natural occurrences, and direct or indirect human intervention at or near the trees may substantially alter discovered conditions and that Talmack Urban Forestry Consultants Ltd. cannot report on, or accurately predict, events that may change the condition of trees after the described investigation was completed.

It is not possible for an Arborist to identify every flaw or condition that could result in failure, nor can he/she guarantee that the tree will remain healthy and free of risk. The only way to eliminate tree risk entirely is to remove the entire tree. All trees retained should be monitored on a regular basis. Remedial care and mitigation measures recommended are based on the visible and detectable indicators present at the time of the examination and cannot be guaranteed to alleviate all symptoms or to mitigate all risk posed.

Immediately following land clearing, grade changes or severe weather events, all trees retained should be reviewed for any evidence of soil heaving, cracking, lifting or other indicators of root plate instability. If added information is discovered in the future during such events or other activities, Talmack Urban Forestry Consultants Ltd. should be requested to re-evaluate the conclusions of this report and to provide amendments as required prior to any reliance upon the information presented herein.

## 11. IN CLOSING

We trust that this report meets your needs. Should there be any questions regarding the information within this report, please do not hesitate to contact the undersigned.

Yours truly,

Talmack Urban Forestry Consultants Ltd.

Prepared by:



Robert McRae  
ISA Certified Arborist PN – 7125A  
Tree Risk Assessment Qualified  
Tree Appraisal Qualified  
Email: Robbie@Talmack.ca

## 12. REFERENCES

Dunster, J.A., E.T. Smiley, N. Matheny, and S. Lily. 2017. Tree Risk Assessment Manual, International Society of Arboriculture (ISA).

The City of Langford Tree Protection Bylaw No. 2117.

## 13. COMPANY INFORMATION

General Liability: Intact Insurance, Policy No. 5V2147122 : \$5,000,000



## **APPENDIX A - TREE MANAGEMENT PLAN**



TREE PROTECTION NOTES

**Tree protection barrier:** The areas, surrounding the trees to be retained, should be isolated from the construction activity by erecting protective barrier fencing. Where possible, the fencing should be erected at the perimeter of the critical root zone. The barrier fencing to be erected must be a minimum of 1200mm in height, of solid frame construction that is attached to wooden or metal posts. A solid board or rail must run between the posts at the top and the bottom of the fencing. This solid frame can then be covered with flexible snow fencing. The fencing must be erected prior to the start of any construction activity on site (i.e. demolition, excavation, construction), and remain in place through completion of the project. Signs should be posted around the protection zone to declare it off limits to all construction related activity. The project arborist must be consulted before this fencing is removed or moved for any purpose.

**Arborist supervision:** All excavation occurring within the critical root zones of protected trees must be completed under the supervision of the project arborist. Any severed or severely damaged roots must be pruned back to sound tissue to reduce wound surface area and encourage rapid compartmentalization of the wound.

**Demolition:** The demolition of the existing houses, driveways, and any services that must be removed or abandoned must take the critical root zone of the trees to be retained into account. If any excavation or machine access is required within the critical root zones of trees to be retained, it must be completed under the supervision of the project arborist. If temporarily removed for demolition, barrier fencing must be erected immediately after the supervised demolition.

**Methods to avoid soil compaction:** In areas where construction traffic must be performed to ANSI A300 standards and Best Management Practices, encroach into the critical root zones of trees to be retained, efforts must be made to reduce soil compaction where possible by displacing the weight of machinery and foot traffic. This can be achieved by one of the following methods:

- Installing a layer of hog fuel or coarse wood chips at least 20cm in depth and maintaining it in good condition until construction is complete.
- Placing medium weight geotextile cloth over the area to be used and installing a layer of crushed rock to a depth of 15cm over top.
- Placing two layers of 19mm plywood.
- Placing steel plates.

**Mulching:** Mulching can be an important proactive step in maintaining the health or trees and mitigating construction related impacts and overall stress. Mulch should be made from a natural material such as wood chips/paving materials and designs such as those utilized by Grasspave, Gravelpave, Grasscrete and open-grid systems.

**Pruning:** We recommend that any pruning of bylaw-protected trees be performed to ANSI A300 standards and Best Management Practices. Care must be taken to ensure that the area of blasting does not extend beyond the necessary footprints and into the critical root zones of surrounding trees. The use of small low-concussion charges and multiple small charges designed to pre-shear the rock face will reduce fracturing, ground vibrations and overall impact to the surrounding environment. Only explosives of low phytotoxicity and techniques that minimize tree damage should be used. Provisions must be made to ensure that blasted rock and debris are stored away from the critical root zones of trees.

**Scaffolding:** This assessment has not included impacts from potential scaffolding including canopy clearance pruning requirements. If scaffolding is necessary and this will require clearance pruning of retained trees, the project arborist should be consulted. Depending on the extent of pruning required, the project arborist may recommend that alternatives to full scaffolding be considered such as hydraulic lifts, ladders or

platforms. Methods to avoid soil compaction may also be recommended (see "Minimizing Soil Compaction" section).

**Landscaping and irrigation systems:** The planting of new trees and shrubs should not damage the roots of retained trees. The installation of any in-ground irrigation system must take into account the critical root zones of the trees to be retained. Prior to installation, we recommend the irrigation technical consult with the project arborist about the most suitable locations for the irrigation lines and how best to mitigate the impacts on the trees to be retained. This may require the project arborist supervise the excavations associated with installing the irrigation system. Excessive frequent irrigation and irrigation which wets the trunks of trees can have a detrimental impact on the tree health and can lead to root and trunk decay.

**Arborists role:** It is the responsibility of the client or his/her representative to contact the project arborist for the purpose of:

- Locating the barrier fencing.
- Reviewing the report with the project foreman or site supervisor.
- Locating work zones and machine access corridors where required.
- Supervising excavation for any areas within the critical root zones of trees to be retained including any proposed retaining wall footings and review any proposed fill areas near trees to be retained.

**Tree Management Plan**  
950 Bray Avenue & 2866-2870 Rita Road  
Langford, BC

DATE: May 7, 2024  
PREPARED FOR: Eden Developments  
SCALE: 1 : 200 @ 11" X 17"  
DRAWN BY: RM  
REVISION: 0  
REFERENCE DWG: 24.757 A1.0 Site Plan

LEGEND

Existing tree with tag or ID #

Tree protection fencing

Dripline radius (m)

Critical root zone radius (m)

Tree proposed for removal

Site boundary

OS1

(tbd)

BRAY AVENUE

RITA ROAD

0

1:200

10

TREE PROTECTION FENCING

Schedule "C"

TREE PROTECTION FENCING

2-4 (MAXIMUM SPAN)

38mm x 89mm TOP RAIL

38mm x 89mm POST

38mm x 89mm BOTTOM RAIL

TIES OR STAPLES TO SECURE MESH

407mm x 610mm (16" x 24")

USE ZIP TIES FOR SECUREMENT

1.20

0.60

GROUND LEVEL

Tree Protection Fencing Specifications:

1. The fence will be constructed using 38 x 89 mm (2" x 4") wood frame:

• Top, Bottom and Posts.\*

• Use orange snow fencing mesh and secure to the wood frame with "zip" ties or galvanized staples.

2. Attach a sign with minimum size of 407 mm x 610 mm (16" X 24") with the following wording:

a) **DO NOT ENTER**- Tree Protection Zone (For retained trees) or;

b) **DO NOT ENTER**- Future Tree Planting Zone (For tree planting sites)

This sign must be affixed on every fence face or at least every 10 linear metres.

\*In rocky areas, metal posts (t-bar or rebar) drilled into rock will be accepted.

DATE: November 2019

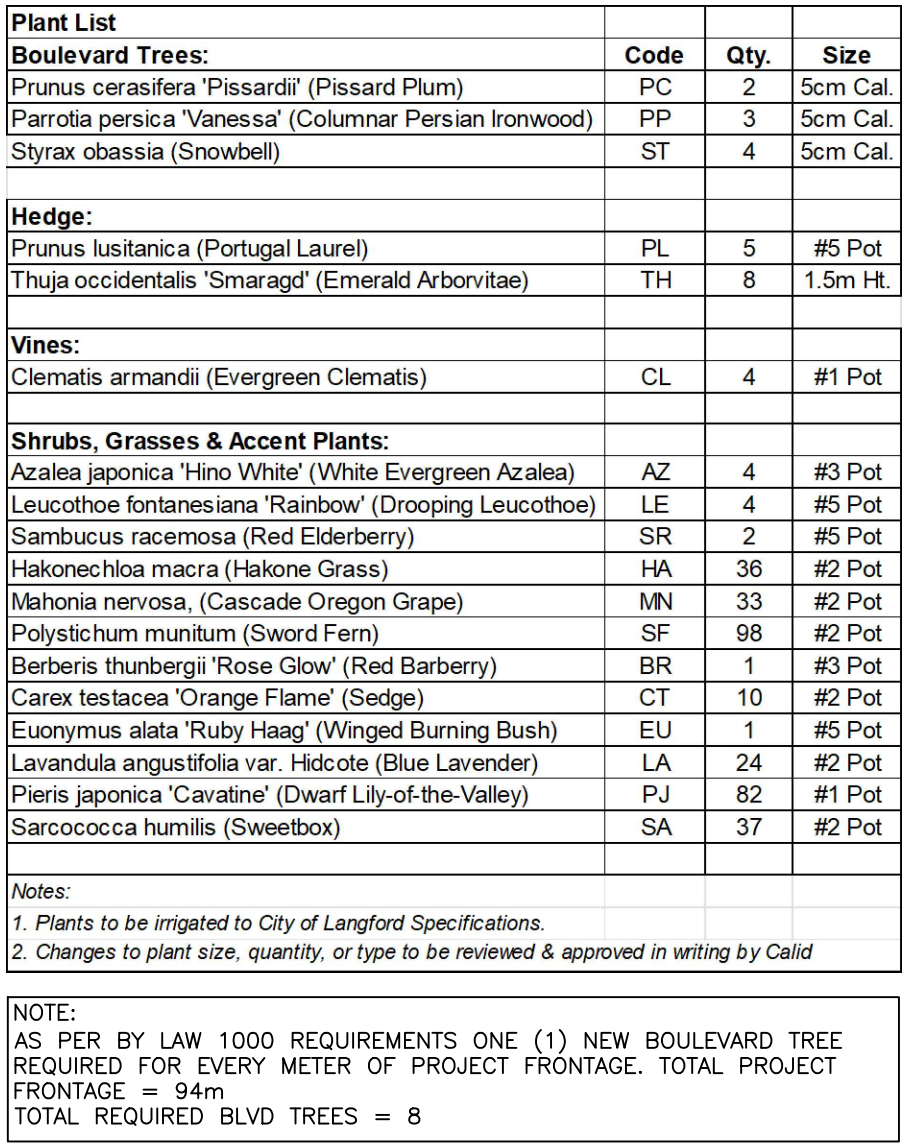
SCALE: N.T.S

TALMACK

URBAN FORESTRY

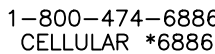
Consultants Limited





1. CONTRACTOR TO STRIP ALLOGENIC MATERIAL TO SPECIFIED LIMITS OF THE PLANTING AREAS AND STOCKPILE ANY SUITABLE MATERIAL FOR REUSE. EXCAVATED DEPTH FOR SHRUBS TO BE MIN. 600mm, DEPTH OF TREE PITS TO BE 800mm. (TREE PITS TO BE EXCAVATED AT SAME TIME AS ANY SERVICING/UTILITY TRENCHING IN AREA. BACKFILL WITH GROWING MEDIUM & STAKE TREE PIT LOCATIONS FOR LANDSCAPE CONTRACTOR.) SOIL VOLUME OF 10m<sup>3</sup> REQUIRED FOR STREET TREES.
2. SCARIIFY AREAS SHOWING EXCESSIVE COMPACTION AND SIDES AND BOTTOM OF TREE PITS.
3. CONTRACTOR TO REMOVE AND DISPOSE OF OFF-SITE ALL DEBRIS AND UNUSABLE MATERIAL, ROOTS, STONES, ETC. THAT MAY INTERFERE WITH THE PROPER GROWTH OF THE FINISHED LANDSCAPING.
4. GROWING MEDIUM TO MEET MMCD SPECIFICATION AND BC LANDSCAPE STANDARDS.
5. GROWING MEDIUM DEPTH TO BE MIN. 150mm FOR SOD LAWN, 600mm FOR PLANTING AREAS AND 800mm FOR TREE PITS.
6. IMPORTED TOPSOIL TO CONTAIN A MIN. OF 4% ORGANIC MATTER FOR CLAY LOAMS AND 2% ORGANIC MATTER FOR SAND LOAMS, TO A MAX. OF 20% VOLUME. SOIL TO BE FREE OF ROOTS, NOXIOUS WEEDS (CRABGRASS, COUGHGRASS, HORSETAIL, SEEDS, ETC.), TOXIC MATERIALS, STONES OVER 30mm, OR FOREIGN OBJECTS. ACIDITY RANGE TO BE 5.5-7.5 pH. NATIVE TOPSOIL MAY BE USED PROVIDED IT MEETS STANDARDS SET FOR IMPORTED TOPSOIL.
7. PLANTING OF TREES, SHRUBS AND GROUND COVERS TO CONFORM TO MMCD SECTION 02950 AND CITY OF LANGFORD SPECIFICATIONS (REFER TO SCHEDULE 11 FOR ADDITIONAL TREE PLANTING DETAILS & INFORMATION).
8. LANDSCAPE CONTRACTOR TO ENSURE ALL MATERIALS AND PROCEDURES COMPLY WITH ACCEPTED LANDSCAPE PRACTICES. SPECIES SELECTION TO BE AS SPECIFIED. SUBSTITUTIONS WILL ONLY BE DONE WITH THE WRITTEN APPROVAL OF CALID SERVICES LTD.
9. PLANT MATERIAL TO BE NURSERY GROWN STOCK AND COMPLY WITH BRITISH COLUMBIA STANDARD FOR CONTAINER GROWN PLANTS AND LANDSCAPE CANADA GUIDE SPECIFICATION FOR NURSERY STOCK. PLANTS TO BE TRUE TO NAME, TYPE AND FORM, AND BE REPRESENTATIVE OF THEIR SPECIES AND VARIETY. PLANTS TO BE OF GOOD HEALTH, PROPERLY PROPORTIONED, NOT WEAK, INJURED OR THIN.
10. TREES TO BE STAKED AND BRACED IN AN UPRIGHT POSITION. INSTALL STAKES, CLAMPS, ANCHORS, FABRIC TIES AS NOT TO DAMAGE THE TREE. STAKES TO BE 100mmφ. (FABRIC TIES TO BE ABORTIVE OR APPROVED EQUAL.)
11. LANDSCAPE CONTRACTOR TO GUARANTEE PLANT MATERIAL FOR THE STANDARD ONE (1) YEAR MAINTENANCE PERIOD.
12. LANDSCAPE CONTRACTOR IS NOT RESPONSIBLE FOR PLANT LOSS DUE TO THEFT, VANDALISM, OR ANIMALS DURING THE MAINTENANCE PERIOD, OR FAILURE BY STRATA/OWNER IN OPERATING IRRIGATION SYSTEM IN ACCORDANCE TO IRRIGATION DESIGNER'S/IRRIGATION CONTRACTOR'S RECOMMENDED WATERING SCHEDULE.
13. PRUNING OF TREES TO BE DONE BY A CERTIFIED ARBORIST.
14. HIGH ORGANIC CONTENT, LOW WOOD CONTENT MULCH TO BE APPLIED TO BEDS AFTER FINISHED GRADING IS APPROVED AND PLANTING COMPLETE. MULCH TO BE FREE OF CHUNKS, STICKS, SOIL, STONES, ROOTS, ETC. LANDSCAPE CONTRACTOR TO ENSURE MINIMUM BARK MULCH DEPTH OF 50mm AFTER SETTLEMENT. 1.2mφ MULCH RINGS REQUIRED FOR ALL TREES IN SOD LAWN.
15. ALL TREE PITS SHALL BE INSPECTED BY CALID SERVICES LTD. PRIOR TO BACKFILLING.

1. IRRIGATION SYSTEMS TO MEET MMCD AND CITY OF LANGFORD SCHEDULE 10 IRRIGATION STANDARDS. IRRIGATION CONTRACTOR TO INSTALL IRRIGATION SYSTEM TO ALL APPLICABLE PLUMBING REGULATIONS.
2. PRIVATE ONSITE IRRIGATION P.O.C., TIMER & METER TO BE LOCATED WITHIN BUILDING MECHANICAL ROOM.
3. SOD LAWN AREAS, TREES AND PLANTING AREAS TO BE IRRIGATED. SOD LAWN TO HAVE A MICROSPRAY IRRIGATION SYSTEM WITH HEAD TO HEAD COVERAGE. PLANTING BEDS TO BE IRRIGATED WITH DRIP IRRIGATION. TREES IN RAISED PLANTER BEDS TO HAVE ONE EMITTER LOOPS PER TREE TO PREVENT OVERWATERING.
4. IRRIGATION SYSTEM TO BE DESIGNED BY A CERTIFIED IRRIGATION DESIGNER AS CERTIFIED BY IIABC OR IA. SHOP DRAWINGS TO BE PROVIDED TO CALID SERVICES LTD. (AND CITY OF LANGFORD IF REQUIRED) FOR REVIEW.
5. ALL IRRIGATION COMPONENTS AND INSTALLATION TO COMPLY WITH MMCD AND IIABC STANDARDS FOR LANDSCAPE IRRIGATION SYSTEMS. SYSTEM TO INCLUDE FLOW SENSOR, CENTRAL SHUT-OFF VALVE, AND METER. PRESSURE REGULATING DEVISE AND MOISTURE SENSOR/RAIN DELAY CONTROLLER ALSO REQUIRED.
6. IRRIGATION SYSTEM TO HAVE A DYNAMIC OPERATING PRESSURE BETWEEN 50 TO 90 psi.
7. IRRIGATION CONTRACTOR TO ENSURE ALL CRITICAL POINTS (CORNERS, EDGES, TIGHT CONTOURS, ETC) RECEIVE FULL COVERAGE.
8. IRRIGATION CONTRACTOR TO LOCATE ALL UNDERGROUND SERVICES PRIOR TO COMMENCING WORK.
9. IRRIGATION SYSTEM TEST TO BE WITNESSED BY CALID SERVICES LTD. CONTRACTOR TO PROVIDE 48 HOUR NOTICE FOR REVIEW.
10. IRRIGATION CONTRACTOR TO GUARANTEE WORK AND MATERIALS FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION.
11. IRRIGATION CONTRACTOR TO PROVIDE AS-BUILT DRAWINGS AND ZONE MAPS TO DEVELOPER.
12. 150mm DIAM. PVC IRRIGATION SLEEVES REQUIRED AT PLANTER WALLS, SIDEWALKS, DRIVEWAYS, ETC. TO ENSURE ALL PLANTING AREAS MAY BE SERVED BY SITE IRRIGATION. PLANTER BUILT CONTRACTOR TO PROVIDE IRRIGATION SLEEVES WILL RESULT IN WORK NEEDING TO BE REDONE AT CONTRACTOR'S EXPENSE. CONTRACTOR TO STAKE & LABEL ALL SLEEVES IN FIELD FOR IRRIGATION CONTRACTOR.



NOTICE:  
LANDSCAPE DESIGN IS ONLY VALID  
IF REVIEWED DURING CONSTRUCTION  
BY CALID SERVICES LTD.

NOTICE:  
EXISTING & PROPOSED MUNICIPAL  
SERVICES ARE NOT SHOWN ON THIS  
DRAWING, REFER TO DRAWINGS BY  
OTHERS.

NOTICE:  
FAILURE BY THE CONTRACTOR TO CONTACT CALID  
SERVICES LTD. FOR PERIODIC FIELD REVIEWS MAY  
RESULT IN WORK BEING REDONE AT CONTRACTOR'S  
EXPENSE.

CRUSHED ROCK  
GRAVEL BORDER

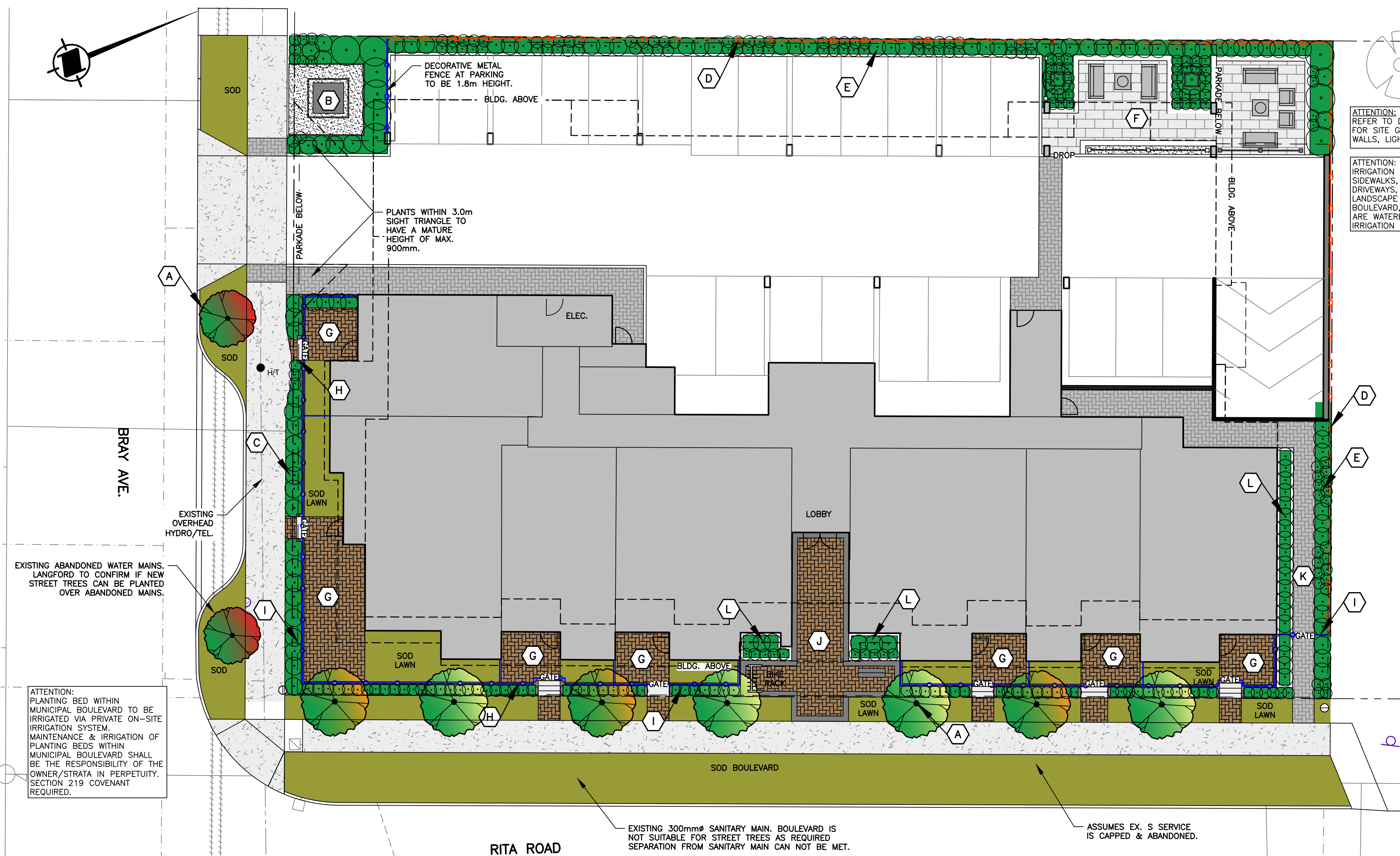


BRITISH COLUMBIA SOCIETY OF  
REGISTERED  
MEMBER  
DANIKA HAZEL PROVEN  
522  
LANDSCAPE ARCHITECTS

VICTORIA, B.C. V8T-4E  
PHONE: (250) 388-6919  
FAX: (250) 381-6919  
engineer@calid.ca

CANCEL PRINTS BEARING EARLIER LETTER





ATTENTION:  
PLANTING BED WITHIN  
MUNICIPAL BOULEVARD TO BE  
IRRIGATED VIA PRIVATE ON-SITE  
IRRIGATION SYSTEM.  
MAINTENANCE & IRRIGATION OF  
PLANTING BEDS WITHIN  
MUNICIPAL BOULEVARD SHALL  
BE THE RESPONSIBILITY OF THE  
OWNER/STRATA IN PERPETUITY.  
SECTION 219 COVENANT  
REQUIRED.

#### MODULAR PAVER SCHEDULE:

**BUILDING ENTRANCE:**  
TYPE: BELGARD CLASSIC STANDARD PAVERS  
FIELD COLOUR: 75% HARVEST, 25% NATURAL  
FIELD PATTERN: ASHLAR (DOUBLE STANDARD, STANDARD  
& HALF STANDARD)  
BORDER COLOUR: CHARCOAL  
BORDER PATTERN: SOLDIER COURSE

**GROUND LEVEL AMENITY SPACE:**  
TYPE: BELGARD CORTEZ SLAB PAVERS  
FIELD COLOUR: NATURAL  
BORDER COLOUR: GRANITE

**PRIVATE PATIOS:**  
TYPE: BELGARD CLASSIC STANDARD PAVERS  
FIELD COLOUR: HARVEST  
FIELD PATTERN: ASHLAR (DOUBLE STANDARD, STANDARD  
& HALF STANDARD)  
BORDER COLOUR: HARVEST  
BORDER PATTERN: SOLDIER COURSE

#### SITE FURNISHING SCHEDULE:

**BENCH:**  
URBAN FORM BENCH UFB-5  
QUANTITY: FIVE (5)  
POWDER COAT COLOUR: GREY GOLD  
RECYCLED PLASTIC WOOD COLOUR: WALNUT  
CONTACT: WISHBONE SITE FURNITURE  
(1-604-626-0476)

**BIKE RACK:**  
CORA BIKE RACK W7510 POWDER COATED BLACK  
QUANTITY: 1  
CONTACT: CORA CANADA, BURNABY, B.C.  
(1-604-437-4415)

#### GENERAL NOTES

- ALL PLANTING, TREE PIT SOIL VOLUMES, CONSTRUCTION, AND MATERIALS TO BE IN ACCORDANCE WITH LANGFORD SPECIFICATIONS, BY-LAW 1000 (SUBDIVISION DEVELOPMENT SERVICING), AND STANDARD DRAWINGS, MMCD SPECIFICATIONS AND BC NURSERY TRADES. ALL LANDSCAPING WORK TO BE REVIEWED BY CALID SERVICES LTD.
- ALL OFFSITE AREAS AFFECTED BY THE WORK ARE TO BE REINSTATED TO ORIGINAL OR BETTER CONDITION BY CONTRACTOR AND COMPLETED IN PROMPT MANNER TO MINIMIZE LOCAL DISRUPTION.
- CONTRACTOR TO ENSURE POSITIVE DRAINAGE OF ALL LAWNS AND PLANTING AREAS TO AN APPROVED OUTLET. MINIMUM GRADE TO BE 2.0%.
- CONTRACTOR TO CONFIRM LOCATION OF AND COORDINATE WITH APPLICABLE UTILITIES PRIOR TO INSTALLATION OF ANY OF THE LANDSCAPE WORKS.
- CONTRACTOR TO BE REGISTERED WITH WORK SAFE BC AND ALL WORK TO BE CONDUCTED UNDER WORK SAFE BC REGULATIONS AND WORK AREAS TO BE PROTECTED BY APPROVED RIGID CONSTRUCTION FENCING.
- EXISTING & PROPOSED UNDERGROUND SERVICES ARE NOT SHOWN ON THIS DRAWING. CONTRACTOR TO CONFIRM THE LOCATION OF ANY UNDERGROUND SERVICES AND COORDINATE WITH APPLICABLE UTILITIES PRIOR TO ANY EXCAVATIONS.
- FOR ANY AMBIGUITIES IN SPECIFICATIONS THE MOST CONSERVATIVE/ROBUST SPECIFICATIONS SHALL GOVERN.
- CONTRACTOR TO NOTIFY CALID SERVICES LTD. IMMEDIATELY OF ANY CONFLICTS OR DISCREPANCIES.
- ALL PLANTERS OVER BUILDING SLAB REQUIRE DRAINS CONNECTED TO ROOF DRAINAGE SYSTEM. LOCATION TO BE REVIEWED BY DEVELOPER'S STRUCTURAL ENGINEER.
- AUTOMATIC IRRIGATION SYSTEM TO LANGFORD BY LAW 1000 REQUIRED FOR ALL PLANTING AREAS, SOD LAWNS & TREES.
- IRRIGATION REQUIREMENTS FOR MUNICIPAL SOD LAWN BOULEVARD TO BE PROVIDED BY LANGFORD PARKS. POINT OF CONNECTION FOR MUNICIPAL IRRIGATION SYSTEM TO BE REVIEWED WITH LANGFORD PARKS.
- WELL-ROTTED, HIGH ORGANIC CONTENT, LOW WOOD CONTENT MULCH TO BE APPLIED TO PLANTING BEDS AFTER FINISHED GRADING IS APPROVED AND PLANTING COMPLETE. MULCH TO BE FREE OF CHUNKS, STICKS, SOIL, STONES, ROOTS, ETC. LANDSCAPE CONTRACTOR TO ENSURE MINIMUM BARK MULCH DEPTH OF 50mm AFTER SETTLEMENT. 1.2m<sup>2</sup> MULCH RINGS REQUIRED FOR ALL TREES IN LAWN AREAS.

#### KEY NOTES

- A** PROPOSED BOULEVARD TREE IN SOD LAWN. HALF CIRCLE MULCH RING TO BE DISCUSSED WITH LANGFORD PARKS.
- B** PMT LOCATION TO BE APPROVED BY BC HYDRO. ANTI-GRAFFITI VINYL WRAP REQUIRED. IMAGE TO BE PROVIDED BY DEVELOPER. NO PLANTING ALLOWED WITHIN 1.2m OF PMT AS PER BC HYDRO REQUIREMENTS.
- C** PROPOSED PLANTING BORDER ON PUBLIC PROPERTY. SECTION 219 COVENANT REQUIRED. IRRIGATION VIA PRIVATE ONSITE SYSTEM. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE STRATA/OWNER IN PERPETUITY. TYPICAL
- D** 1.8m Ht. PERIMETER WOOD PANEL FENCE ON PROPERTY LINE.
- E** PERIMETER PLANTING AREA C/W NATIVE SHRUBS. LOW HEIGHT CURB WALL MAY BE REQUIRED OVER PARKADE TO ENSURE MIN. SOIL DEPTH OF 600mm.
- F** RESIDENT AMENITY SPACE C/W SLAB UNIT PAVING, PRIVACY SCREEN FENCING, SHADE TOLERANT SPECIMEN TREES & ACCENT SHRUBS, AND OUTDOOR COUCHES. FIRE TABLES TO BE DISCUSSED WITH DEVELOPER. PRE-FABRICATED ALUMINUM PLANTERS REQUIRED FOR SPECIMEN TREES OVER PARKADE.
- G** PRIVATE UNIT PATIO C/W UNIT PAVING.
- H** PRIVATE WALKWAY C/W STEPS. REFER TO ARCHITECTURAL DRAWINGS FOR INFORMATION.
- I** 1.2m HEIGHT DECORATIVE METAL FENCE (POWDER COATED BLACK).
- J** BUILDING ENTRANCE C/W UNIT PAVING, SEATING BENCH & VISITOR BIKE PARKING.
- K** 1.2m UNIT PAVER WALKWAY TO BUILDING EXIT. SECURITY GATE TO BE DISCUSSED WITH DEVELOPER.
- L** RAISED PLANTER C/W SHADE TOLERANT ACCENT PLANTS & NATIVE SHRUBS. LOW LEVEL WALL MOUNTED PATHWAY LIGHTING TO BE DISCUSSED WITH DEVELOPER.



THE CONTRACTOR IS TO CALL B.C. ONE CALL, AND HAVE EXISTING U/G SERVICES STAKED PRIOR TO ANY CONSTRUCTION.

NOTICE:  
LANDSCAPE DESIGN IS ONLY VALID IF REVIEWED DURING CONSTRUCTION BY CALID SERVICES LTD.

NOTICE:  
EXISTING & PROPOSED MUNICIPAL SERVICES ARE NOT SHOWN ON THIS DRAWING. REFER TO DRAWINGS BY OTHERS.

FOR DEVELOPMENT  
PERMIT ONLY  
Not for Construction

NOTICE:  
FAILURE BY THE CONTRACTOR TO CONTACT CALID SERVICES LTD. FOR PERIODIC FIELD REVIEWS MAY RESULT IN WORK BEING REDONE AT CONTRACTOR'S EXPENSE.

BRAY & RITA RESIDENTIAL DEVELOPMENT  
Landscape Plan & Notes  
Client: Eden Developments



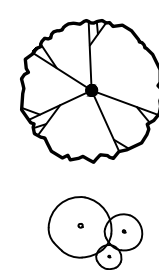
207-2750 QUADRA ST.  
VICTORIA, B.C. V8T 4E8  
PHONE: (250) 386-6919  
FAX: (250) 381-6919  
engineer@calid.ca

Drawn	dp	Date	MAY 24, 2024
Checked		Project #	0973
Approved		Scale	AS NOTED
Designed	dp		
		Rev.	2

CANCEL PRINTS BEARING EARLIER LETTER

Dwg. No.	REFERENCE DRAWINGS	DATE

#### LEGEND



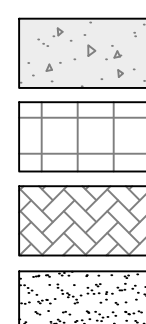
PROP.  
DECIDUOUS  
TREE

PROP.  
SHRUBS



1.8m HT. PERIMETER FENCE  
(DESIGN BY OTHERS)

1.2m HT. DECORATIVE  
METAL FENCE (DESIGN BY  
OTHERS)

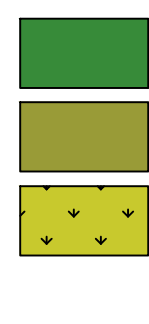


BROOM FINISHED  
CONCRETE

SLAB UNIT PAVING

STANDARD UNIT  
PAVING

CRUSHED ROCK  
BORDER



PLANTING BED

SOD LAWN

SYNTHETIC  
TURF

REV.	DATE	REVISIONS	BY	APPROVED
2	AUG 28/24	TO BUILDING & PARKING CHANGES	DP	
1	AUG 1/24	TO LANGFORD COMMENTS	DP	





## CITY OF LANGFORD BYLAW NO. 2199

### A BYLAW TO AMEND BYLAW NO. 300, "LANGFORD ZONING BYLAW, 1999"

The Council of the City of Langford, in open meeting assembled, hereby enacts as follows:

A. Langford Zoning Bylaw No. 300, 1999 is amended as follows:

1. By deleting from the R2 (One- and Two-Family Residential) Zone and adding to the CC1 (City Centre 1) Zone the properties legally described as:

- Lot 4, Section 79, Esquimalt District, Plan 18207, PID No. 000-129-844 (2866 Rita Road);
- Lot 11, Section 79, Esquimalt District, Plan 17397, PID No. 000-769-941 (950 Bray Avenue); and
- Lot 12, Section 79, Esquimalt District, Plan 17397, PID No. 003-933-997 (2870 Rita Road);

as shown shaded on Schedule A attached to and forming part of this Bylaw.

2. By adding the following to Table 1 of Schedule AD:

Zone	Bylaw No.	Legal Description	Amenity Contributions	Eligible for Reduction in Section 2 of Schedule AD
CC1	2199	<ul style="list-style-type: none"> <li>· Lot 4, Section 79, Esquimalt District, Plan 18207, PID No. 000-129-844 (2866 Rita Rd);</li> <li>· Lot 11, Section 79, Esquimalt District, Plan 17397, PID No. 000-769-941 (950 Bray Ave); and</li> <li>· Lot 12, Section 79, Esquimalt District, Plan 17397, PID No. 003-933-997 (2870 Rita Rd)</li> </ul>	<ul style="list-style-type: none"> <li>a) \$2,850 per residential unit created towards the General Amenity Reserve Fund on the 1<sup>st</sup> through 4<sup>th</sup> storeys; and</li> <li>b) \$1,425 per residential unit created towards the General Amenity Reserve Fund on the 5<sup>th</sup> and 6<sup>th</sup> storeys; and</li> <li>c) 1,425 per non-market residential unit created towards the General Amenity Reserve Fund; and</li> <li>d) \$750 per unit created towards the Affordable Housing Reserve Fund on the 1<sup>st</sup> through 4<sup>th</sup> storeys; and</li> <li>e) \$375 per unit created towards the Affordable Housing Reserve Fund on the the 5<sup>th</sup> and 6<sup>th</sup> storeys; and</li> <li>f) \$375 per non-market residential unit created towards the General Amenity Reserve Fund;</li> <li>g) That the total contribution to the General Amenity Reserve Fund as specified in a) through c) may be reduced by the amount equal to the cost of constructing the sidewalk extension beyond the frontage on Rita Road to the corner of Tennis Court Lane, to the satisfaction of the Director of Engineering.</li> </ul>	No

B. This Bylaw may be cited for all purposes as “Langford Zoning Bylaw, Amendment No. 736 (950 Bray Avenue and 2866 and 2870 Rita Road), Bylaw No. 2199, 2024”.

READ A FIRST TIME this    day of    , 2024.

READ A SECOND TIME this    day of    , 2024.

READ A THIRD TIME this    day of    , 2024.

APPROVED BY THE MINISTRY OF TRANSPORTATION AND INFRASTRUCTURE this    day of    , 2024.

ADOPTED this    day of    , 2024.

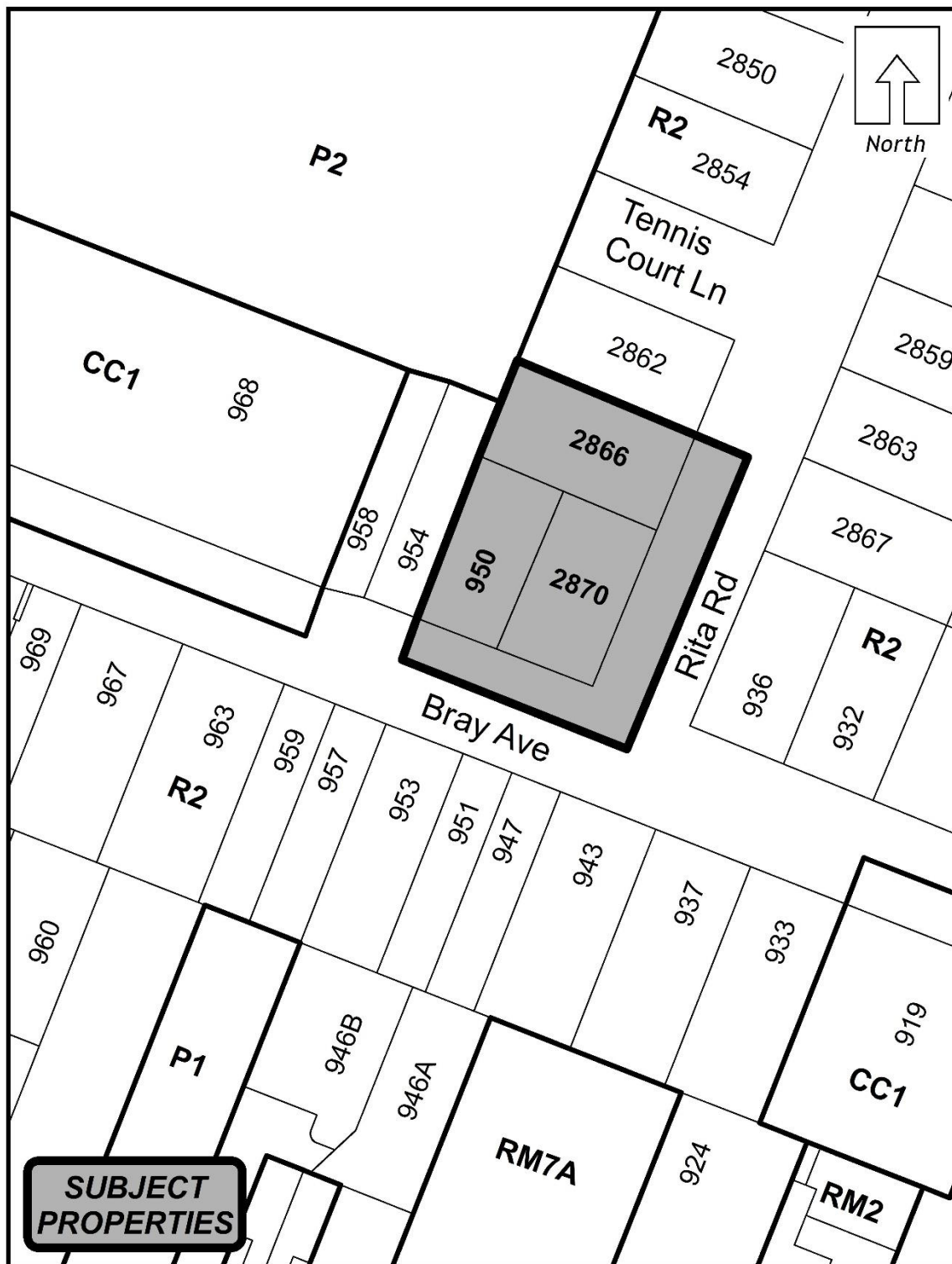
---

PRESIDING COUNCIL MEMBER

---

CORPORATE OFFICER

Schedule A







**Symphony (Bray Ave. & Rita RD)**  
**Sustainable Development Advisory Committee**  
**October 15th, 2024**





**Symphony (Bray Ave. & Rita RD)**  
**Sustainable Development Advisory Committee**  
**October 15th, 2024**



S1 Centennial Park



## S1 Centennial Park

- Surrounded by large green space – Centennial Park
- Increasing numbers of apartments and townhouses





## CC1 City Centre Zone

- Easy access to downtown core
  - Walk score of 75
- Good access to shops, services and transit options
- 300 metres from E&N Trail





# Grayland Consulting

## Rachael Sansom

- Public consultation
- 50 letters sent to neighbours
- Most homes owned by investors as holding properties
- Several homes occupied by work crews



## Duplex at 954 Bray Avenue

- Client wanted to add this property as part of the project
- Negotiations with owner was not successful
  - Cost of property was not reasonable
- Still opportunity for missing middle project in future







## Proposed Development

- 77 residential units
- 6 storey wood frame
- No setback variances requested
- Surface parking and one level of underground parking
- **Parking variance from 1.25:1 to 1.1:1**



## Proposed Development

- **Parking variance from 1.25:1 to 1.1:1**
- Watt Consulting study only requires 73 spaces
- 85 spaces provided in proposal
  - Bike parking on each floor
  - Adequate for cargo bikes and electric bikes



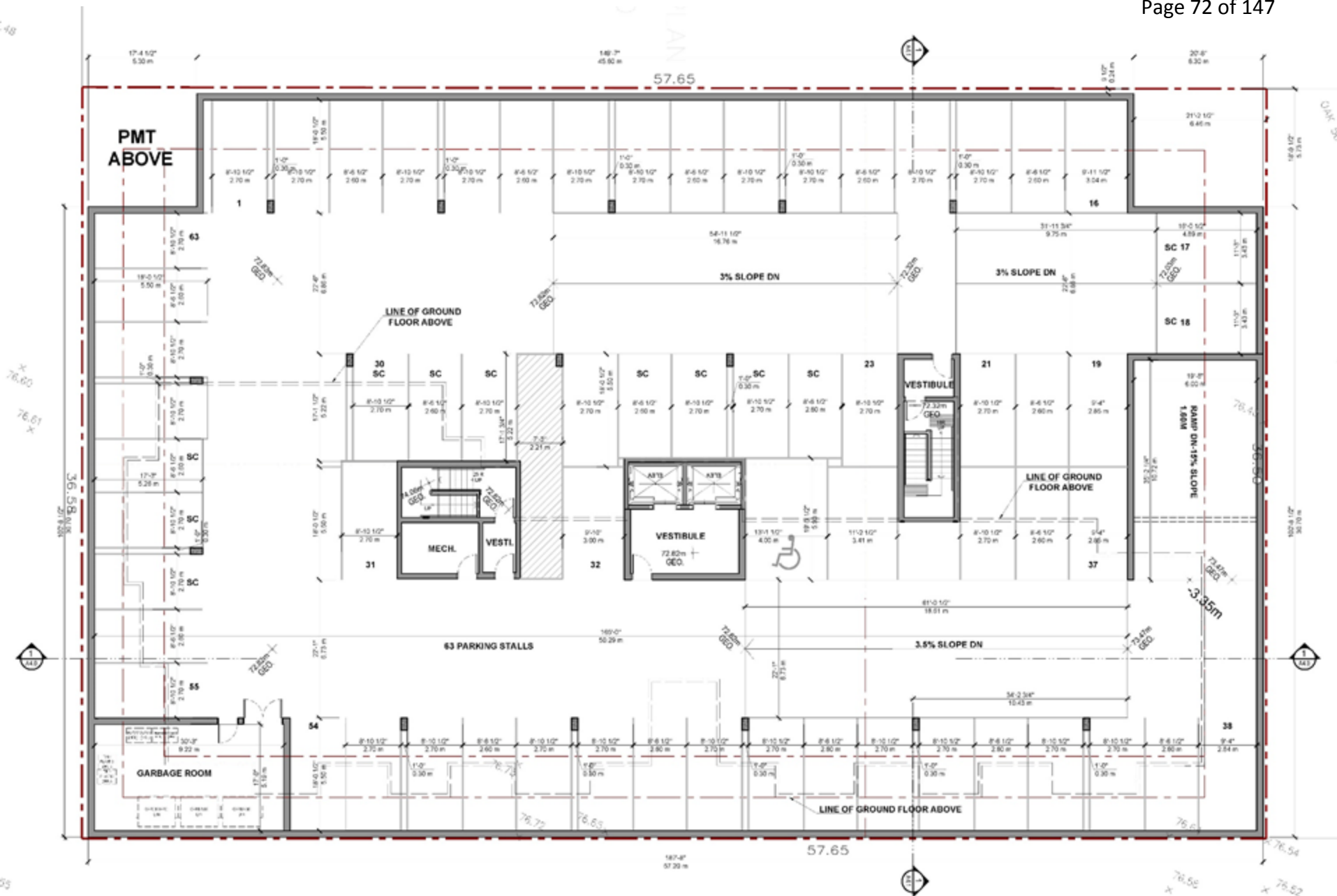


Development creates sidewalk off Bray  
down Rita towards Tennis Court Lane



BRAY AVE.





1.48

16.60  
76.61

55





# Proposed materials

## Hardie panel, Hardie Plank, stone veneer and wood siding



### Rita Road Elevation





Bray Avenue Elevation



North Elevation



West Elevation





View from Centennial Park





View from Centennial Park





Looking down Bray to Carlow





Looking down Bray to Carlow





Looking down Rita to Bray





Looking down Rita to Bray





Looking down Bray to Rita





Looking down Bray to Rita

























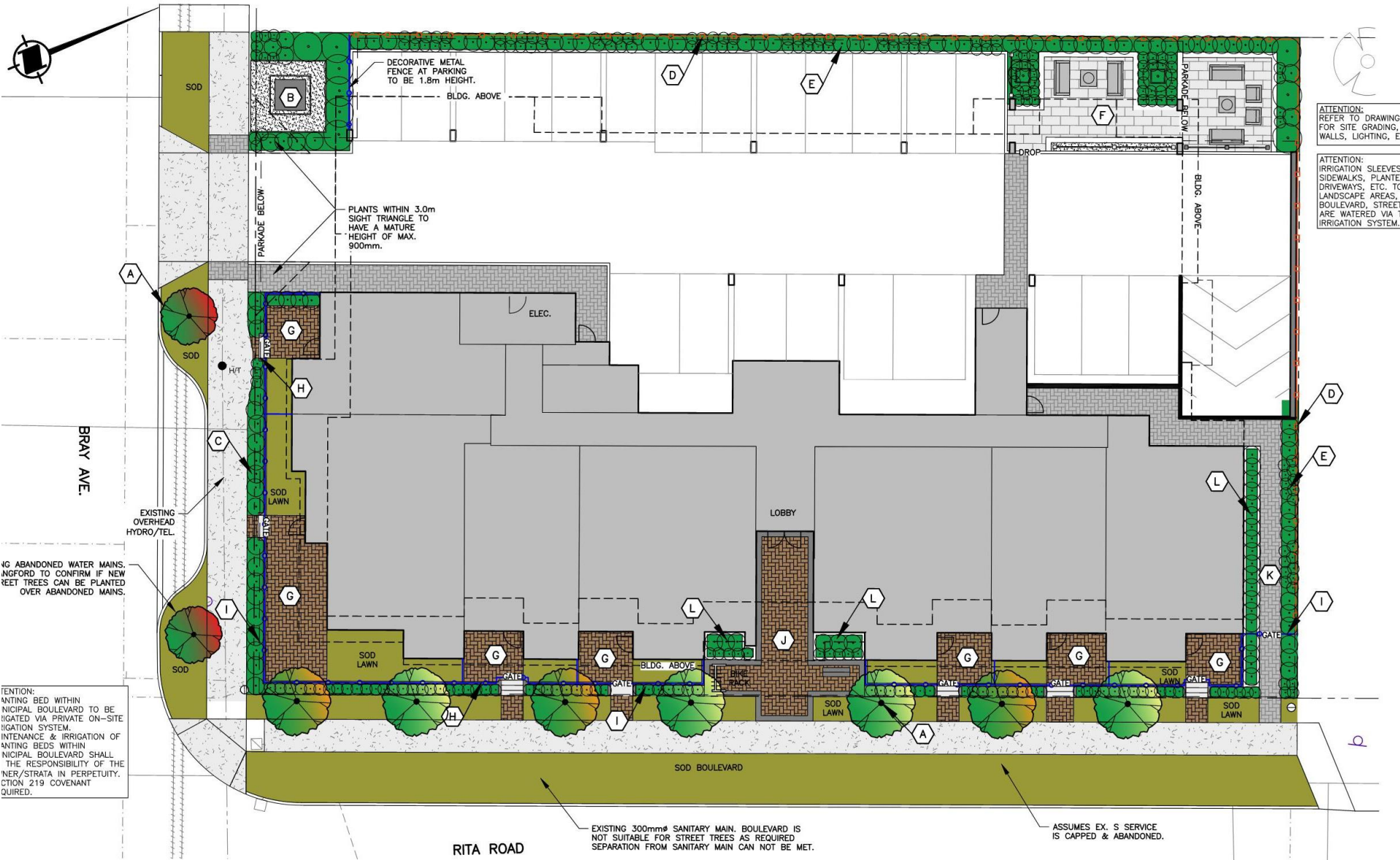












LANDSCAPE PLAN

SCALE 1:150



MODULAR PAVER SCHEDULE:

BUILDING ENTRANCE:

SITE FURNISHING SCHEDULE:

BENCH:





Thank you!  
Questions?



City of Langford

# Staff Report to Sustainable Development Advisory Committee

**DATE:** Tuesday, October 15, 2024

**DEPARTMENT:** Planning

**APPLICATION NO.:** Z22-0035

**SUBJECT:** Bylaw No. 2191 – Application to Rezone 946 Isabell Avenue from One- and Two-Family Residential (R2) to Residential Townhouse (RT1) to allow for the development of approximately 7 townhouse units.

## EXECUTIVE SUMMARY:

Mehdi Khataw of Khataw Development has applied on behalf of Ladkeen (Canada) Ltd. to rezone 946 Isabell Avenue from R2 (One- and Two-Family Residential) to RT1 (Residential Townhouse) to allow approximately 7 townhouse units within 2 blocks. The proposal includes 8.12% (124.57m<sup>2</sup>) of covenanted non-disturbance area which contains the Streamside Protection and Enhancement Area (SPEA) of the Fire Hall Creek located to the rear of the site. The SPEA is proposed to be revegetated under the direct guidance of the project Biologist and fenced off with a permanent fence to avoid any future encroachment into the riparian habitat.

## BACKGROUND:

### PREVIOUS APPLICATIONS

An environmental Development Permit DP08-0037 was issued in July 2008, to lift and move the existing dwelling into the Riparian Development Permit Area in order to facilitate a future one-lot subdivision of the subject property. The proposal did not proceed.

**Table 1: Site Data**

<i>Applicant</i>	Mehdi Khataw
<i>Owner</i>	Ladkeen (Canada) Ltd.
<i>Civic Address</i>	946 Isabell Avenue
<i>Legal Description</i>	Lot 6, Section 84, Esquimalt District, Plan 22027
<i>Size of Property</i>	1,533 m <sup>2</sup>
<i>DP Areas</i>	Riparian

<i>Zoning</i>	Existing: R2	Proposed: RT1
<i>OCP Designation</i>	Existing: Neighbourhood	Proposed: Neighbourhood

#### SITE AND SURROUNDING AREA

The subject property is located in south Langford, east of Happy Valley Road, on the north side of Isabell Avenue. The site does not contain any trees, is flat in nature, and contains an established single-family dwelling, which is not proposed to be retained as part of this proposal. Fire Hall Creek is located north of the subject site, with the creek's 10m SPEA partially situated along the rear of the subject site.

The surrounding neighborhood is primarily composed of small lot and conventionally sized single-family subdivisions. The subject site is surrounded by small lot single family subdivisions immediately to the north, east, and west. The same applicant has also proposed a 19-unit townhome development on the south side of Isabell Avenue, approximately 100m from the subject site. Ernhill Park, Sedgwick Park, and Ed Fisher Memorial Park are all located within a fifteen-minute walk from the subject site. The Galloping Goose Regional Trail is located approximately 300m from the development site, with the closest access point off the Isabell Avenue cul-de-sac. Happy Valley Elementary School is located approximately 650m away from the site. School District No 62 has been made aware of this application such that they can consider the proposed increase in density in this area as part of their long-range facility planning.

The proposed development is also located within 800m of a Controlled Access Highway under the jurisdiction of the Ministry of Transportation and Infrastructure (MoTI) and is therefore subject to their review and approval. During the referral stage of the application, MoTI has not identified any concerns with the proposal and indicated that they have no objection to the proposal in principle.



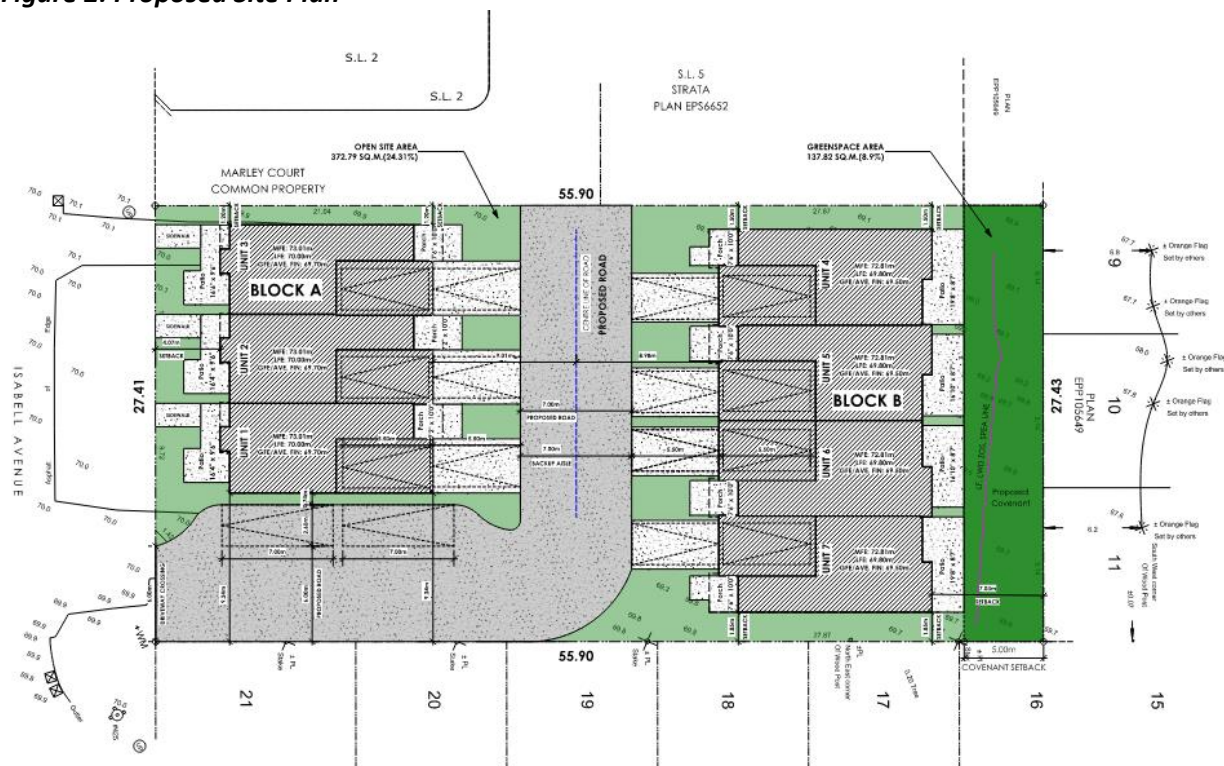
An aerial photograph of a suburban neighborhood. A red rectangle highlights a property located on Birchall Creek Rd, between Willow Dr and Emerald Dr. The surrounding area includes various residential lots with houses, a large green field in the lower center, and several streets including Birchall Creek Rd, Willow Dr, Emerald Dr, and others. The map is oriented with North at the top.

	<b><i>Zoning</i></b>	<b><i>Use</i></b>
<b><i>North</i></b>	RS1 (Residential Small Lot)	Single-family dwellings on small lots
<b><i>East</i></b>	RS1 (Residential Small Lot)	Single-family dwellings on small lots
<b><i>South</i></b>	RS1 (Residential Small Lot) R2 (One- and Two-Family Residential)	Single-family dwellings on small lots Duplex
<b><i>West</i></b>	RS1 (Residential Small Lot)	Single-family dwellings on small lots

## DEVELOPMENT PROPOSAL

**Langford**  
where it all happens.

**Figure 2: Proposed Site Plan**



One of the blocks along the front is proposed to contain three units, and the townhouse block along the rear of the property is proposed to contain four dwelling units. Both townhouse blocks are two storeys high, feature a single-car garage and one storey of living space above, large enough to accommodate 3-bedroom layouts, making them suitable for families with children and other larger household types.

Each unit includes two parking spaces, one in the enclosed garage and second one on the driveway, which meets the requirement of the Zoning Bylaw No. 300. The applicant is also proposing a total of two visitor parallel parking spaces to be located along the strata access road, south of Block A. To remain consistent with townhouse developments that have been recently rezoned, Council may wish to require that garages are to be used for parking of vehicles and not the storage of items in a manner that would prevent utilization of the garage space for parking purposes. This requirement should be secured through a Section 219 Covenant prior to bylaw adoption, in favour of the City, but should require that the strata bylaws of the resulting strata corporation are reflective of this requirement, such that the strata is responsible for enforcing the covenant rather than the City.

In a similar manner, Council may wish to secure a requirement to incorporate electric heat pumps for heating and cooling, to remain consistent with recent rezoning applications.



The applicant has submitted two conceptual renderings of their proposal to better articulate the design of the proposed townhomes (Figures 3 and 4).

***Figure 3: Rendering Of the Block a Of Proposed Townhouse Development as Seen from Isabell Avenue***



***Figure 4: Rendering Of the Block B Of Proposed Townhouse Development as Seen from The Strata Road***



The buildings have a West-Coast modern style, mixing monochromatic cladding and natural wood shades. The primary materials proposed are concrete fibre panels, vertical metal siding, and cedar



longboard. The final design, including finishing materials, will be secured through the Form and Character Development Permit.

Each unit contains no less than 10m<sup>2</sup> of ground level private open space for the use of the residents of each townhome. Additionally, a total of 8.12% (124.57m<sup>2</sup>) of the site along the rear is proposed to be retained as a common area. As this area contains part of the SPEA for the Fire Hall Creek, it is designated as a non-disturbance area and is required to be fenced off with a permanent fence to ensure no further disturbance of the riparian habitat.

The applicant will also be required to install a 1.8m solid privacy fence along the property lines that do not abut the highway to screen the development from adjacent properties. For the front property line abutting Isabell Avenue, the fence may not exceed 1.2m and is required to provide less than complete visual screening. As shown on the landscaping plan attached, the applicant is proposing 0.9m cedar horizontal slat fence for the units facing Isabell Avenue.

**Table 3: Proposal Data**

	<b>Permitted by R2 (Current Zoning)</b>	<b>Permitted by RT1 (Proposed Zoning)</b>	<b>Proposed by Rezoning Application</b>
<i>Permitted Use</i>	<ul style="list-style-type: none"> <li>• Single -family dwelling</li> <li>• Duplex</li> <li>• 4-unit townhouse</li> </ul>	Townhouse	Townhouse
<i>Density (FAR and/or min. lot size)</i>	400m <sup>2</sup>	1.2 FAR	1.0 FAR
<i>Height</i>	11m	3 storeys	2 storeys
<i>Site Coverage</i>	50%	60%	
<i>Front Yard Setback</i>	3.0m (5.5m for garage or carport)	3.0m (5.5m for garage or carport)	4.07
<i>Interior Side Yard Setback</i>	1.5m	1.2m	1.20
<i>Exterior Side Yard Setback</i>	3.0m (5.5m for garage or carport)	3.5 (5.5m for garage or carport)	N/A
<i>Rear Yard Setback</i>	3.0m	5.5m	7.03m
<i>Vehicle Parking Requirement</i>	1 per dwelling unit	2 per dwelling unit + 2 visitor stalls	2 per dwelling unit + 2 visitor stalls
<i>Bicycle Parking Requirement</i>	N/A	1 per dwelling unit	1 per dwelling unit

As can be seen in Table 3, under the current zoning, the property can have a 4-unit townhome without having to rezone the site, in accordance with the recent Bylaw changes. The applicant wishes to increase the density on site to 7 townhome units.

Additionally, as can be seen from the table above, the applicant is not utilizing the entirety of the height allowance permitted by the zone and is proposing two storey dwellings instead of three storey dwellings. The applicant has identified this design was utilized to remain consistent with the immediate neighbourhood, which is predominantly comprised of two storey homes.

#### VARIANCES

Although not listed in the table above, one variance to Section 3.16.01(1) of the Zoning Bylaw No. 300 is required to facilitate this project. Section 3.16.01(1) stipulates that no building or structure may be located within 30m of the natural boundary of any watercourse. The Director of Development Services is authorized to approve a variance for the setback of a building from a watercourse otherwise required by the Zoning Bylaw No. 300, if the R.P. Bio confirms that the variance would not result in any encroachment into or impact to the SPEA. As the proposed non-disturbance area containing the SPEA has been identified by the project Biologist and approved by the province, the variance will be issued within the Development Permit.

#### ARBORIST REPORT & LANDSCAPING

As there are no trees currently present on site that would require removal, no arborist report and tree inventory was submitted for Council's consideration. The applicant did, however, obtain the Riparian Areas Protection Regulation (RAPR) Assessment Report, which includes recommendations pertaining to the protection and restoration of the riparian habitat, historically disturbed by human activity. The report was approved by the province in accordance with regulations.

Aside from retention and revegetation of the 124.57m<sup>2</sup> of property along the rear of the lot containing the 10m SPEA, the applicant is proposing some extensive landscaping on private property, where space allows. Council may wish to note that the landscaping concept plan demonstrates approximately 32 trees to be planted on site, in addition to some ornamental shrubs. The proposed species are 13 Japanese cherry trees, 9 Asian white birch trees, 3 pin oaks, 4 Greenspire lindens, and 3 Eddie's white wonder dogwood trees. The exact species and location will be confirmed at the time of Form and Character Development Permit, but the number of trees planted is expected to remain consistent with the number provided within the landscaping plan.

Council should note that the landscaping plan will be secured through the Form and Character Development Permit, which will provide assurance that trees on private property will be maintained in accordance with the plan in perpetuity, as any change to the landscaping plan would be subject to the approval of the Director of Development Services through a Development Permit amendment.

The Parks Department has indicated that boulevard trees are required at a rate of 1 tree per 12 linear meters of frontage. For any required boulevard trees that cannot be accommodated within the frontage without compromising sound arboricultural practices, due to the size or other characteristics of the frontage, cash-in-lieu would be required in accordance with Bylaw No. 1000.

### MULTI-MODAL NETWORK

#### FRONTAGE IMPROVEMENTS

Full frontage improvements will be required in accordance with Bylaw No. 1000 and to the satisfaction of the Director of Engineering prior to the issuance of a building permit. Of note, the Engineering Department has indicated that the proposal will be required to provide three angled parking stalls, streetlights, and a minimum of two boulevard trees. The Director of Engineering noted that angled parking, although not preferred everywhere in the City, is required in this area to help alleviate some of the street parking concerns that the neighbourhood is experiencing due to proximity to Ed Fisher Memorial Park. The Director of Engineering has reviewed and approved the preliminary frontage drawing for this proposal.

#### PEDESTRIAN, CYCLING AND MOTORIST NETWORK

Sidewalks are situated along the south side of Isabell Avenue, and are expected to be completed with the development of 967A Isabell. Bike lanes exist on both sides of Happy Valley Road, approximately 170m from the subject site, providing bicycle access to the downtown core and beyond, via Sooke Road. The Galloping Goose Trail offers cycling connections throughout the Greater Victoria region.

There are several bus stops within walking distance of the development site, including two bus stops along Happy Valley Road near the intersection of Happy Valley and Walfred Road, which provide access to routes 48, 52, 55, and 64. Route 48 offers service to and from downtown Victoria during peak commuting hours. Route 52 runs throughout the day to provide service between the Colwood Exchange and Bear Mountain. Route 55 offers service to Langford Exchange, which in turn offers transfers to many other routes, including Blink Rapid Line 95, a key commuting service into downtown Victoria. Route 64 travels from Langford Exchange to Sooke Town Centre via Happy Valley Road. Multiple other bus routes are available along Sooke Road within walking distance of the site.



**Figure 5: Ortho Map Showing Bike Lanes (purple lines), Sidewalks (pink lines), Trails (orange lines), and Bus Stops (blue icons):**



## INFRASTRUCTURE

### SEWERS

A sewer main exists along Isabell Avenue and a connection from the units to this main would be required. Any improvements, extensions, or modifications needed to the sewer main within the municipal road right-of-way will be completed by West Shore Environmental Services at the applicant's expense.

### FIRE ACCESS AND FIRE PREVENTION PROTECTION

No ladder fire truck turning template was required as the strata road access does not exceed the 90m specified in Building Bylaw No. 1160.

### STORMWATER MANAGEMENT

The applicant will be required to provide a storm water management plan to the satisfaction of the Director of Engineering prior to the issuance of a building permit. As part of their application, the applicant has submitted a stormwater technical memo outlining how they plan to adequately manage storm water on-site. This memo has been reviewed and approved by the Director of Engineering.

### CONSTRUCTION IMPACT MITIGATION

Council may wish to require a Construction Parking and Deliveries Management Plan as well as an Erosion and Sediment Control Plan as a condition of rezoning and require that it will be provided to the satisfaction of the Director of Engineering prior to any land alteration. Additionally, as per Bylaw 1000, Section 2.5, a Mitigation Plan is required prior to land alteration to the satisfaction of the Director of Engineering (this is an interim measure for all developments, until the Good Neighbour Policy is adopted). A Mitigation Plan is required where there is reasonable ground to anticipate any discharge of contaminants, pollutants, silts, airborne particles (dust) or materials (toxic or natural) to watercourses, municipal ditches and sewage systems, public or private lands, waters or the atmosphere. The construction impact mitigation measures should be secured within a Section 219 covenant, prior to Bylaw Adoption.

### NEIGHBOURHOOD CONSULTATION

The developer held a public information session on Sunday, November 12<sup>th</sup>, 2022. The developer sent out the notice to 45 neighbours, notifying them of the upcoming neighbourhood consultation meeting. 10 residents have attended the session to discuss the proposal.

### COUNCIL POLICY

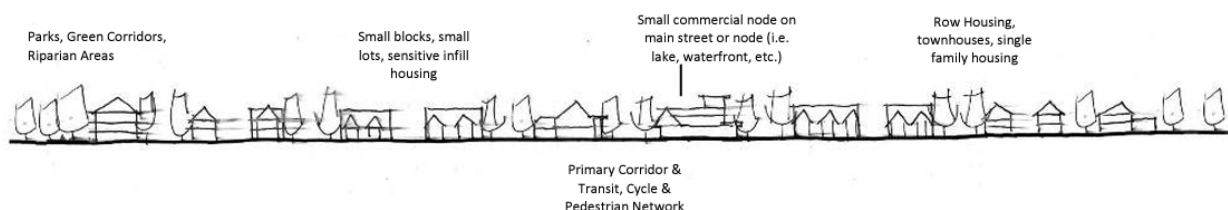
#### OFFICIAL COMMUNITY PLAN

The Official Community Plan (OCP) Bylaw No. 1200 designated the subject properties as “Neighbourhood”, which is defined by the following text:

*Existing settled areas throughout the community predominantly located on the valley floor.*

- *Predominantly residential precinct that supports a range of low and medium density housing choices including secondary suites*
- *This area allows for residential and mixed-use commercial intensification of streets that connect centres and/or are serviced by transit*
- *Schools, community facilities and other institutional uses are permitted throughout the area*
- *Retail serving local residents is encouraged along transportation corridors*
- *Home-based businesses, live-work housing is encouraged*
- *Parks, open spaces and recreational facilities are integrated throughout the area*
- *This area allows for Neighbourhood Centres to emerge in the form of medium density mixed-use nodes at key intersections.*

### A Concept for Neighbourhood Areas



Policies of the Neighbourhood OCP designation support clustered densification in established areas as well as the diversification of housing stock through the incorporation of housing such as coach housing, row housing, live/work units and townhouses. The proposal is consistent with this designation in that it increases density in an existing developed area. Policy 3.9.3 in the OCP presents “16 units per acre” as a guide for residential density for infill development in areas designated as “Neighbourhood”. The proposed development represents a density of approximately 18 units per acre, which exceeds this recommendation. Despite this, the density modifier in the Neighbourhood Designation can be considered as an average of the designation. Additionally, given the location of the parcel close to the Sooke Road corridor, the composition of the neighbourhood, and the layout of the site, which incorporates protection and revegetation of the SPEA, Council may wish to explore the higher density as proposed through this application.

### SOUTH LANGFORD NEIGHBOURHOOD PLAN

The South Langford Neighbourhood Plan (SLNP) designates 946 Isabell Avenue as Urban Residential. This designation is described as the following:

***Urban Residential*** – applies to areas where the availability of municipal services allow for a variety of residential development that is more intensive than suburban residential, and that may include single-family residential dwelling without secondary suites, townhousing, and attached housing. A maximum density of one unit per 200m<sup>2</sup> (2152.85 ft<sup>2</sup>) is applicable.

Council may wish to note that the South Langford Neighbourhood Plan precedes the City’s Official Community Plan, and that the SLNP was retained within the Design Guideline as a reference. Council may also wish to note that zoning amendments are required to comply with the OCP density objectives but is not required to comply with the Design Guidelines, including SLNP. Based on the density noted above, the property would be suitable for a maximum of 6 units. This proposal exceeds the prescribed density by one dwelling unit. Having said that, SLNP generally supports densification in the area through construction of townhomes.



#### DEVELOPMENT PERMIT AREAS

The subject property is not located in the Riparian Development Permit Area in accordance with the Map 13 of the Official Community Plan. However, a stream meeting the definition of a watercourse has been previously identified north of the subject property. The report by a qualified environmental professional has confirmed the presence of SPEA on the subject site, therefore a Development Permit will be required in this regard. The SPEA has been previously disturbed by human activity, and will be revegetated, enhanced, and fenced off with a permanent chain link fence to avoid any further encroachment. Prior to any land alterations, the applicant will need to obtain a Development Permit which will outline any requirements stemming from a qualified professional's review of the site, as it was accepted by the province.

Additionally, given the proposed land use, a Form and Character Development Permit will also be required and will ensure that the proposal complies with the standards prescribed by Zoning Bylaw No. 300 as well as Multi-Family Design Guidelines.

#### LOW CARBON CONCRETE

In accordance with Council's Low Carbon Concrete Policy POL-0167-PLAN, Council may wish to require the applicant to utilize ready-mix concrete that meets or exceeds the weighted average Global Warming Potential targets based on Concrete BC Baseline (average) mix data for the construction of the proposed development.

#### FINANCIAL IMPLICATIONS:

Rezoning the subject properties to permit higher density of development will increase the assessed value of lands and eventually will increase municipal revenue due to the number of units created. As the developer is responsible to complete all frontage improvements, the direct capital costs to the City associated with this development will be negligible. A summary of Amenity Contributions and Development Cost Charges that the developer will be expected to pay, is outlined in Tables 4 and 5 below.

#### COUNCIL'S AMENITY CONTRIBUTION POLICY

The amenity contributions that apply as per Council's current Affordable Housing and Amenity Contribution Policy are summarized in Table 4 below, based the current floor plans and total density of 7 residential units.

**Table 4 – Amenity Contributions per Council Policy**

Amenity Item	Per unit contribution	Total (based on 7 units)
General Amenity Reserve Fund	\$3,660	\$25,620

<i>Affordable Housing Reserve Fund</i>	\$610	\$4,270
<b>TOTAL POLICY CONTRIBUTIONS</b>	<b>\$4,270</b>	<b>\$29,890</b>

**Table 5 - Development Cost Charges**

<b>Development Cost Charge</b>	<b>Per Unit Contribution</b>	<b>Total (based on 7 units)</b>
<i>Roads</i>	\$3,865.00	\$27,055.00
<i>Storm Drainage</i>	\$1,028.00	\$7,196.00
<i>Parks</i>	\$2,078.00	\$14,546.00
<i>ISIF</i>	\$441.96	\$3,093.72
<b>Subtotal (DCC's to Langford)</b>	<b>\$7,412.96</b>	<b>\$51,890.72</b>
<i>CRD Water</i>	\$2,557.00	\$17,899.00
<i>School Site Acquisition</i>	\$900.00	\$6,300.00
<b>TOTAL DCC's (estimated)</b>	<b>\$10,869.96</b>	<b>\$76,089.72</b>

#### **LEGAL IMPLICATIONS:**

Should Council choose to proceed with consideration of this proposal, Bylaw No. 2191 will be scheduled for consideration of first, second, and third readings. As per recent changes to the *Local Government Act*, a Public Hearing is not permitted. Although Public Hearing requirement is waived for the proposal, the required notification will be sent out to the owners and tenants in occupation of real property, any part of which is within 100m of the legal boundaries of the subject area, prior to consideration of first reading.

The amenity contributions specified in Table 4 above are incorporated into Bylaw No. 2191, and will be payable at the time of building permit along with the current Development Cost Charges specified in the various DCC Bylaws.

Council's other conditions of approval would be registered in a Section 219 Covenant in priority of all other charges on title prior to consideration of Bylaw Adoption.

## OPTIONS:

### Option 1

THAT the Sustainable Development Advisory Committee recommend that Council:

1. Proceed with consideration of First, Second, and Third Reading of Bylaw No. 2191, following public notification, to amend the zoning designation of the property located at 946 Isabell Avenue from R2 to RT1 subject to the following terms and conditions:
  - a. That the applicant provides, **as a bonus for increased density**, the following contributions per dwelling unit, **prior to the issuance of a building permit**:
    - i. \$610 towards the Affordable Housing Reserve Fund; and
    - ii. \$3,660 towards the General Amenity Reserve Fund.
  - b. That the applicant, **prior to Bylaw Adoption**, registers a Section 219 covenant in priority of all other charges on title, that agrees to the following:
    - i. That the following will be provided and implemented to Bylaw No. 1000 standards to the satisfaction of the Director of Engineering prior to the issuance of a building permit:
      1. Full frontage improvements; and
      2. A storm water management plan.
    - ii. That the following will be provided and implemented to Bylaw No. 1000 standards to the satisfaction of the Director of Engineering prior to any land alterations:
      1. A mitigation plan;
      2. A construction parking and deliveries management plan; and
      3. An erosion and sediment control plan.
    - iii. That electric heat pumps are installed in the townhouse units;
    - iv. That all concrete used on-site will utilize ready-mix concrete that meets or exceeds the weighted average Global Warming Potential targets based on Concrete BC Baseline (average) mix data, and that prior to the issuance of a Building Permit the applicant shall provide a Type III Environmental Product Declaration that is 3<sup>rd</sup> party verified specifying the total Global Warming Potential value and confirming that the proposed development meets the requirements of Low Carbon Concrete Policy POL-0167-PLAN;
    - v. That a separate covenant is registered, prior to issuance of a building permit, that agrees to the following:
      1. That the owner agrees that the garages are to be used for the parking of



vehicles and not the storage of items preventing the parking of vehicles therein, and that the strata bylaws of the resulting strata corporation are reflective of this requirement, such that the strata is responsible for enforcement of this restriction; and

2. That the strata be responsible for maintaining the boulevard landscaping from the back of the sidewalk with the exception of boulevard trees.

### OR Option 2

THAT the Sustainable Development Advisory Committee recommend that Council take no action with respect to this application to rezone 946 Isabell Avenue under Bylaw No. 2191 until such time as the following items are addressed and reviewed by the Sustainable Development Advisory Committee:

- a. \_\_\_\_\_;
- b. \_\_\_\_\_;
- c. \_\_\_\_\_;

### SUBMITTED BY: Anastasiya Mysak, Planner I

**Concurrence:** Matthew Baldwin, RPP, MCIP, Director of Development Services  
**Concurrence:** Leah Stohmann, RPP, MCIP, Director of Community Planning and Climate Change  
**Concurrence:** Melisa Miles, Manager of Legislative Services  
**Concurrence:** Donna Petrie, Senior Manager of Communications & Economic Development  
**Concurrence:** Yari Nielsen, Director of Parks, Recreation and Facilities  
**Concurrence:** Katelyn Balzer, P.Eng., Director of Engineering and Public Works  
**Concurrence:** Michael Dillabaugh, CPA, CA, Director of Finance  
**Concurrence:** Braden Hutchins, Deputy Chief Administrative Officer

Attachment(s):

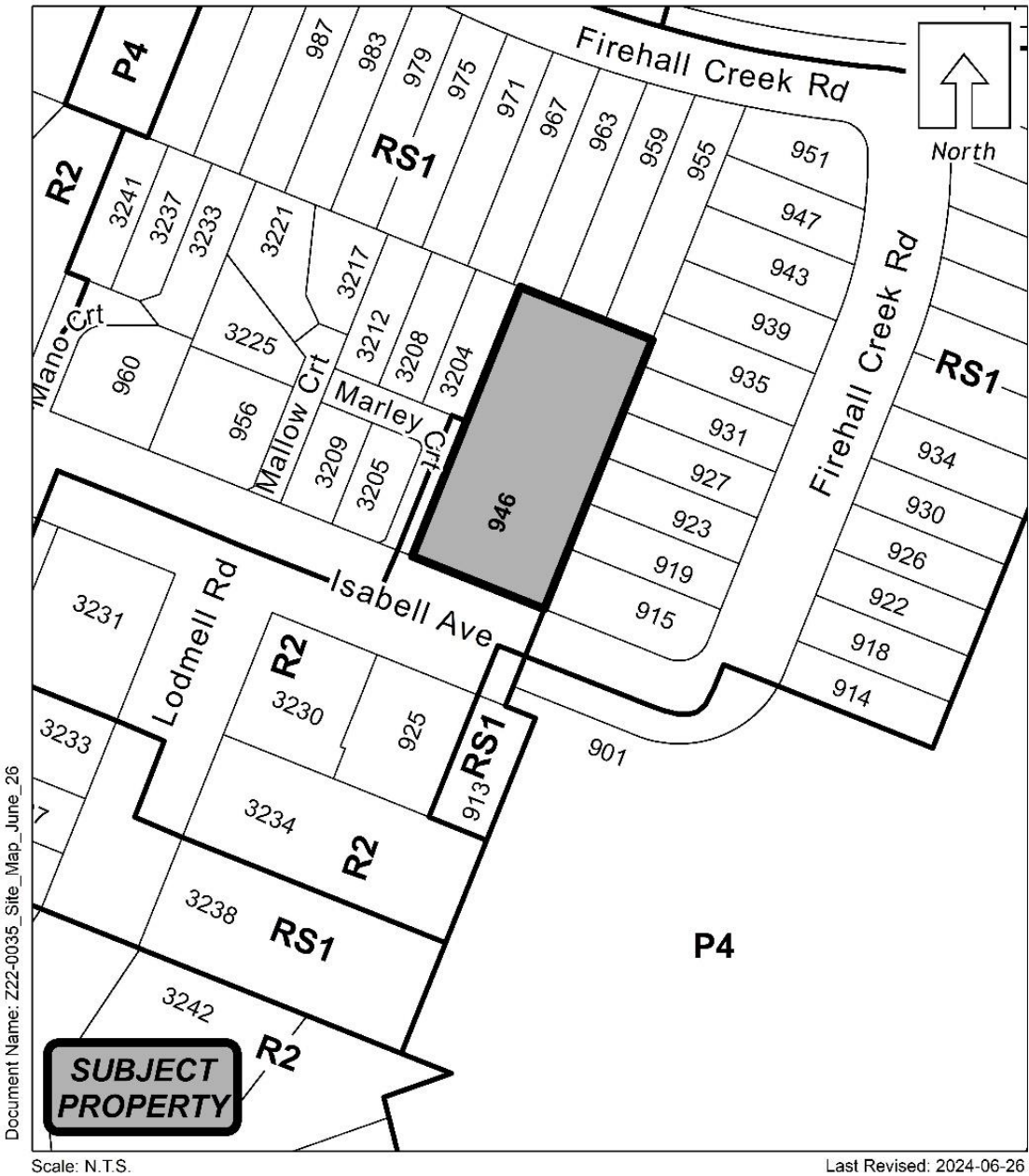
Proposed Site Plan (946 Isabell Avenue)

Proposed Landscaping Plan (946 Isabell Ave)

Bylaw No. 2191

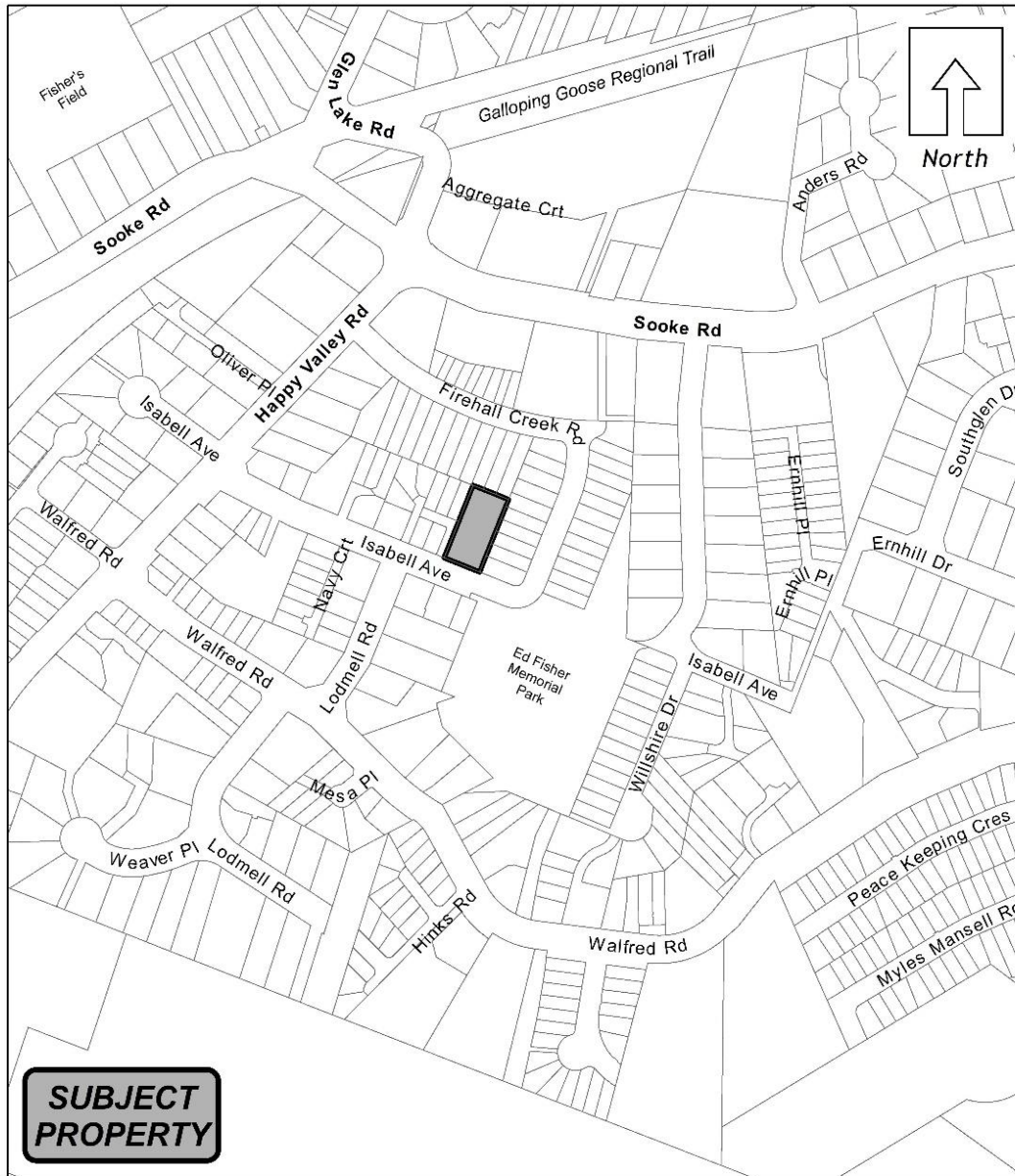
### Appendix A – Site Map

**REZONING BYLAW AMENDMENT**  
**( Z22-0035 )**  
**946 Isabell Ave**



**Appendix B – Location Map**

**REZONING BYLAW AMENDMENT  
 ( Z22-0035 )  
 946 Isabell Ave**



Document Name: Z22-0035\_Location\_Map\_June\_26

Scale: N.T.S.

Last Revised: 2024-06-26



# SKETCH PLAN OF PROPOSED BARE LAND STRATA PLAN OF LOT 6, SECTION 84, ESQUIMALT DISTRICT, PLAN 22027.

## NOTE:

Approving Authority and engineering requirements may dictate change to this lot layout or lot yield.  
Lot dimensions, offsets, and areas shown may vary upon completion of a comprehensive legal survey.  
This plan is for application purposes only and is for the exclusive use of our client.  
This plan shall not be used to define property lines or property corners.  
Unregistered interests have not been included or considered.

Existing structures to be removed.

Field survey dated August 5, 2022.

Field survey for orange flags & south easterly property line dated October 14, 2022.

PID: 003-290-182

Building envelopes must be approved by Approving Authorities prior to reliance.

Base Image derived from CRD Web Site

SITE DATA	REZONE TO RT1	
ITEMS	PERMITTED	PROPOSED
LOT AREA PROPOSED		1532.89
OPEN SITE AREA		20.80 %
PROPOSED GREENSPACE %		8.12 %
PROPOSED GREENSPACE SQ.M.		124.57 sq.m.
LOT COVERAGE	60.00 %	34.67 %
BUILDING HEIGHT	3 STORIES	2 STORIES
SETBACKS		
-NORTH (REAR)	5.50 m.	7.03 m.
-SOUTH (FRONT)	3.00 m.	4.07 m.
-EAST (INTERIOR)	1.20 m.	1.85 m.
-WEST (INTERIOR)	1.20 m.	1.20 m.
PROPOSED FLOOR AREA FOR 7 DWELLINGS		
- BLOCK A - UPPER		216.09 sq.m.
- BLOCK A - LOWER		142.02 sq.m.
- BLOCK B - UPPER		309.26 sq.m.
- BLOCK B - LOWER		205.05 sq.m.
TOTAL GROSS FLOOR AREA		895.76 sq.m.
TOTAL GARAGE AREAS ALL BLOCKS		135.05 sq.m.
F.A.R.	0.5 TO 1.0	<b>*0.58 TO 1.0</b>

## \*INDICATES VARIANCE IS REQUIRED

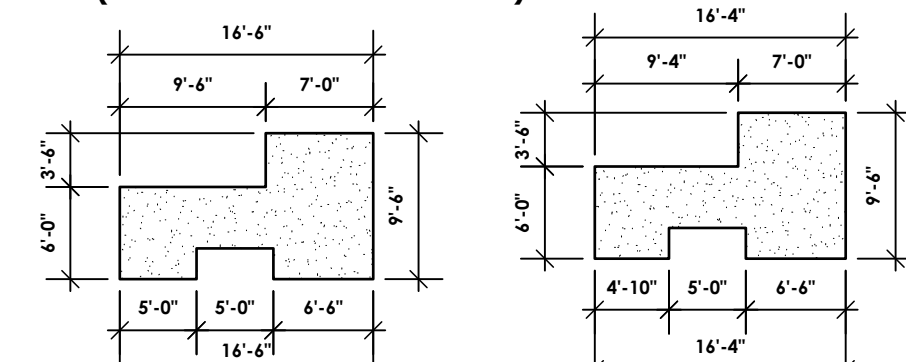
### PARKING CALCULATION:

7 DWELLING UNITS: 2 STALLS PER UNIT = 14 PARKING STALLS REQUIRED  
VISITOR PARKING: 2 STALLS REQUIRED

PROPOSED: 2 STALLS PER UNIT = 14 PARKING STALLS  
2 STALLS TOTAL

OPEN SITE REQUIREMENTS:  
PROVIDE ONE 10 SQ.M. CONCRETE PATIO FOR AN AMENITY SPACE AT THE REAR  
OF EACH DWELLING UNIT: 3 METRE MINIMUM DIMENSION

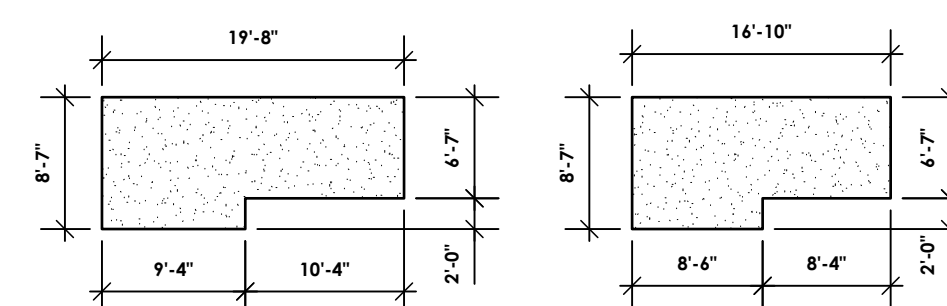
### BLOCK A - PRIVATE OPEN SPACES (CONCRETE PATIO @ FRONT)



TYPICAL SINGLE PATIO  
(10.54 SQ.M.)

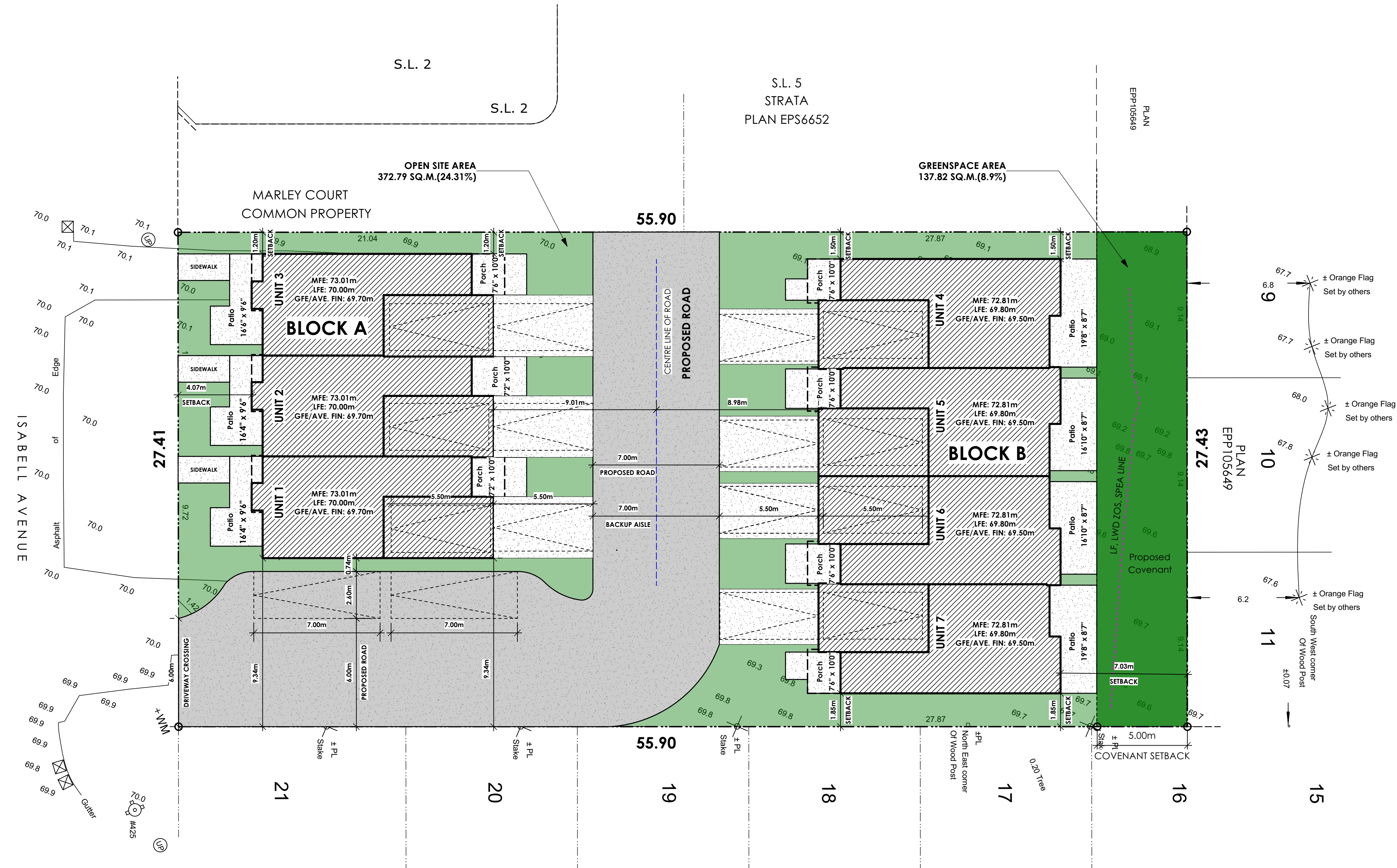
BLOCK A  
UNIQUE PATIO CENTRE UNIT  
(10.45 SQ.M.)

### BLOCK B - PRIVATE OPEN SPACES (CONCRETE PATIO @ REAR)



TYPICAL SINGLE PATIO  
(13.76 SQ.M.)

BLOCK B  
UNIQUE PATIO CENTRE UNITS  
(11.88 SQ.M.)



1 Site Plan - Proposed  
Scale: 1:150

vd|victoria  
g|design group

#105 - 859 ORONO AVENUE  
VICTORIA, B.C.  
V9B 2T9  
P. 250.382.7374  
F. 250.382.7364

## Date

August 12, 2024

## Project Address

946 Isabell Avenue  
Langford, BC

## Prepared for

Khataw Developments

## Project #

8870

## Scale

Not to Scale

## Drawn By

MIS

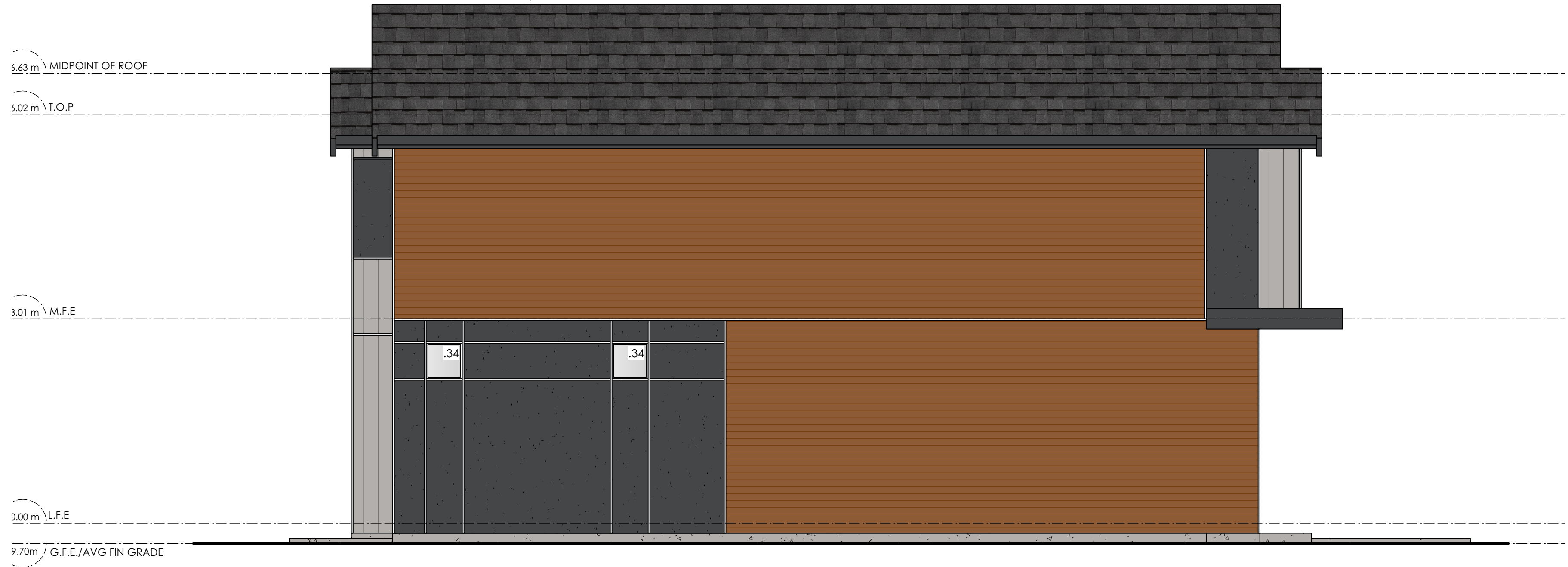
# Proposed Rezoning - 946 Isabell Ave





2 Front Elevation  
Scale: 1/4" = 1'-0"

ROOF		BLACK SHINGLE
SOFFIT		IRON ORE (OR SIMILAR)
DOWNSPOUTS		IRON ORE (OR SIMILAR)
GUTTER		IRON ORE (OR SIMILAR)
TRIMBOARDS		BENJAMIN MOORE - GRAPHITE (OR SIMILAR)
PANEL SIDING		LONGBOARD CLADDING - WESTERN CEDAR (OR SIMILAR)
PANEL SIDING		CONCRETE FIBRE PANEL - GRAPHITE (OR SIMILAR)
METAL SIDING		VERTICAL METAL SIDING - LIGHT GREY (OR SIMILAR)
DOORS		CEDAR GEL STAIN (OR SIMILAR)
CONCRETE		GREY



3 Right Side Elevation  
Scale: 1/4" = 1'-0"

Limiting Distance	9.34	m.
Exposed Building Face	89.03	sq.m.
Allowable Openings	70.00	%
Allowable Opening Area	62.32	sq.m.
Proposed Openings	0.68	sq.m.

Date

August 12, 2024

Project Address

946 Isabell Avenue  
Langford, BC

Prepared for

Khataw Developments

Project #

8870

Scale

Not to Scale

Drawn By

MIS

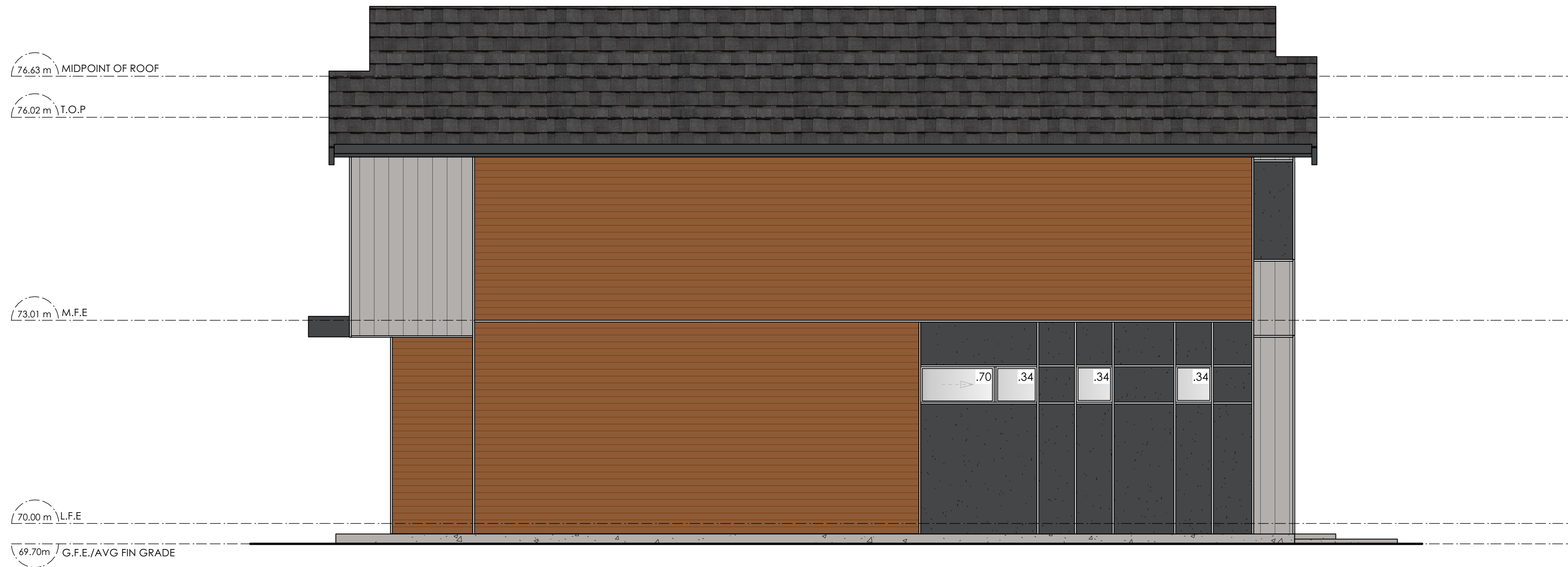
Proposed Rezoning - 946 Isabell Ave



4 Rear Elevation  
Scale: 1/4" = 1'-0"

Limiting Distance	9.01	m.
Exposed Building Face	111.32	sq.m.
Allowable Openings	34.00	%
Allowable Opening Area	37.85	sq.m.
Proposed Openings	36.36	sq.m.

ROOF		BLACK SHINGLE
SOFFIT		IRON ORE (OR SIMILAR)
DOWNSPOUTS		IRON ORE (OR SIMILAR)
GUTTER		IRON ORE (OR SIMILAR)
TRIMBOARDS		BENJAMIN MOORE - GRAPHITE (OR SIMILAR)
PANEL SIDING		LONGBOARD CLADDING - WESTERN CEDAR (OR SIMILAR)
PANEL SIDING		CONCRETE FIBRE PANEL - GRAPHITE (OR SIMILAR)
METAL SIDING		VERTICAL METAL SIDING - LIGHT GREY (OR SIMILAR)
DOORS		CEDAR GEL STAIN (OR SIMILAR)
CONCRETE		GREY



5 Left Side Elevation  
Scale: 1/4" = 1'-0"

Limiting Distance	1.20	m.
Exposed Building Face	88.96	sq.m.
Allowable Openings	7.00	%
Allowable Opening Area	6.23	sq.m.
Proposed Openings	1.72	sq.m.

Date

August 12, 2024

Project Address

946 Isabell Avenue  
Langford, BC

Prepared for

Khataw Developments

Project #

8870

Scale

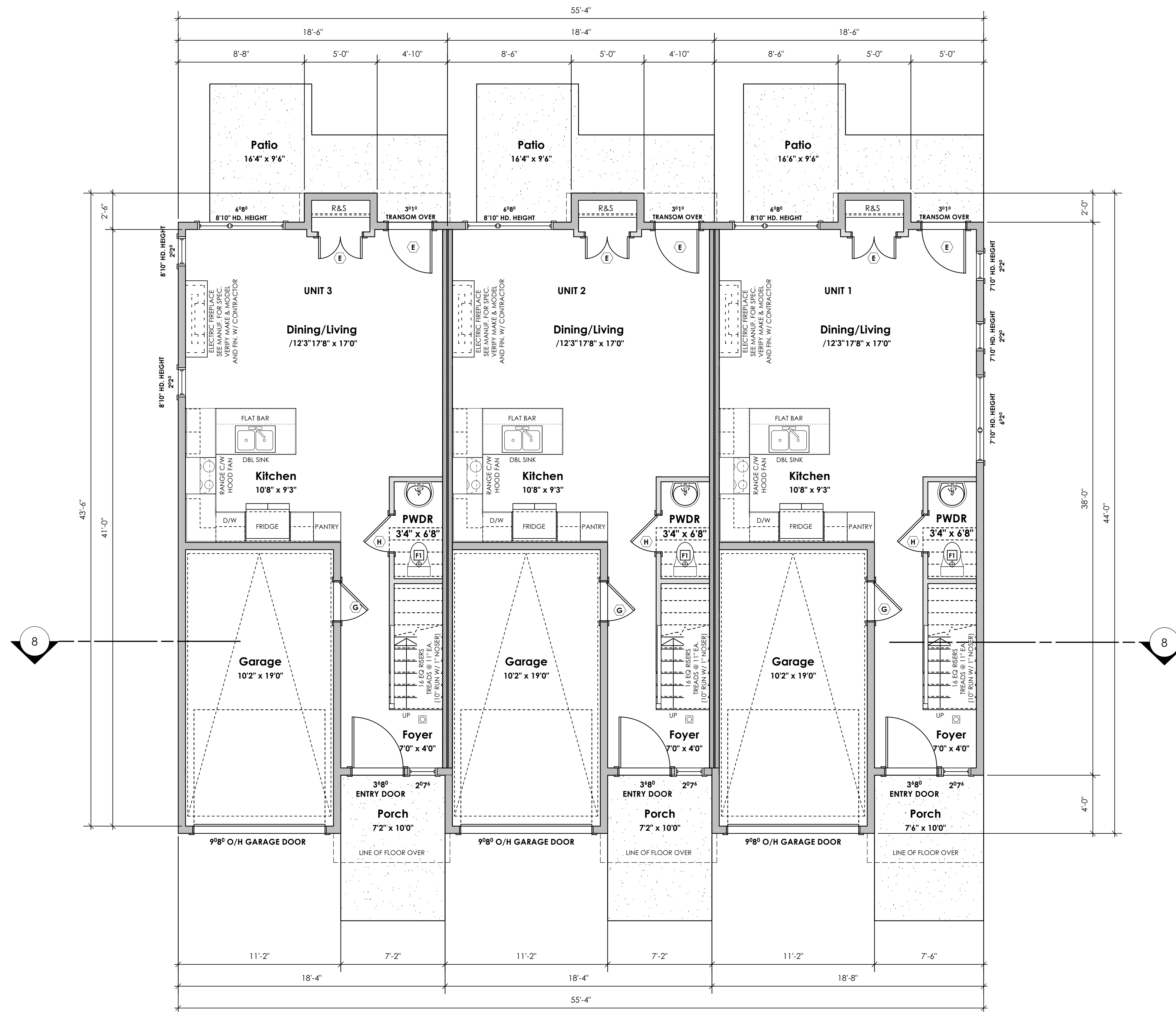
Not to Scale

Drawn By

MIS

Proposed Rezoning - 946 Isabell Ave





6

## Triplex - Main Floor Plan

Scale: 1/4" = 1'-0"

### FLOOR AREAS FOR MUNICIPAL BYLAWS:

UNIT 3: 508.67 ft <sup>2</sup> (47.26 m <sup>2</sup> )	UNIT 3 - GARAGE: 193.17 ft <sup>2</sup> (17.95 m <sup>2</sup> )
UNIT 2: 515.83 ft <sup>2</sup> (47.92 m <sup>2</sup> )	UNIT 2 - GARAGE: 193.17 ft <sup>2</sup> (17.95 m <sup>2</sup> )
UNIT 1: 504.17 ft <sup>2</sup> (46.84 m <sup>2</sup> )	UNIT 1 - GARAGE: 193.17 ft <sup>2</sup> (17.95 m <sup>2</sup> )
TOTAL: 1528.67 ft <sup>2</sup> (142.02 m <sup>2</sup> )	TOTAL: 579.51 ft <sup>2</sup> (53.85 m <sup>2</sup> )

### BUILDING AREAS FOR CONSTRUCTION:

UNIT 3: 534.33 ft <sup>2</sup> (49.61 m <sup>2</sup> )	UNIT 1 - GARAGE: 223.33 ft <sup>2</sup> (20.75 m <sup>2</sup> )
UNIT 2: 530.67 ft <sup>2</sup> (59.30 m <sup>2</sup> )	UNIT 2 - GARAGE: 220.67 ft <sup>2</sup> (20.50 m <sup>2</sup> )
UNIT 1: 537.67 ft <sup>2</sup> (49.95 m <sup>2</sup> )	UNIT 3 - GARAGE: 220.67 ft <sup>2</sup> (20.50 m <sup>2</sup> )
TOTAL: 1602.67 ft <sup>2</sup> (158.86 m <sup>2</sup> )	TOTAL: 664.67 ft <sup>2</sup> (61.75 m <sup>2</sup> )

### DOOR SCHEDULE

(A) 8'0" X 6'8" (96" X 80")	(F) 2'10" X 6'8" (34" X 80")
(B) 6'0" X 6'8" (72" X 80")	(G) 2'8" X 6'8" (32" X 80")
(C) 5'0" X 6'8" (60" X 80")	(H) 2'6" X 6'8" (30" X 80")
(D) 4'0" X 6'8" (48" X 80")	(J) 2'4" X 6'8" (28" X 80")
(E) 3'0" X 6'8" (36" X 80")	(K) 2'0" X 6'8" (24" X 80")
	(L) 1'6" X 6'8" (18" X 80")

### Date

August 12, 2024

### Project Address

946 Isabell Avenue  
Langford, BC

### Prepared for

Khataw Developments

### Project #

8870

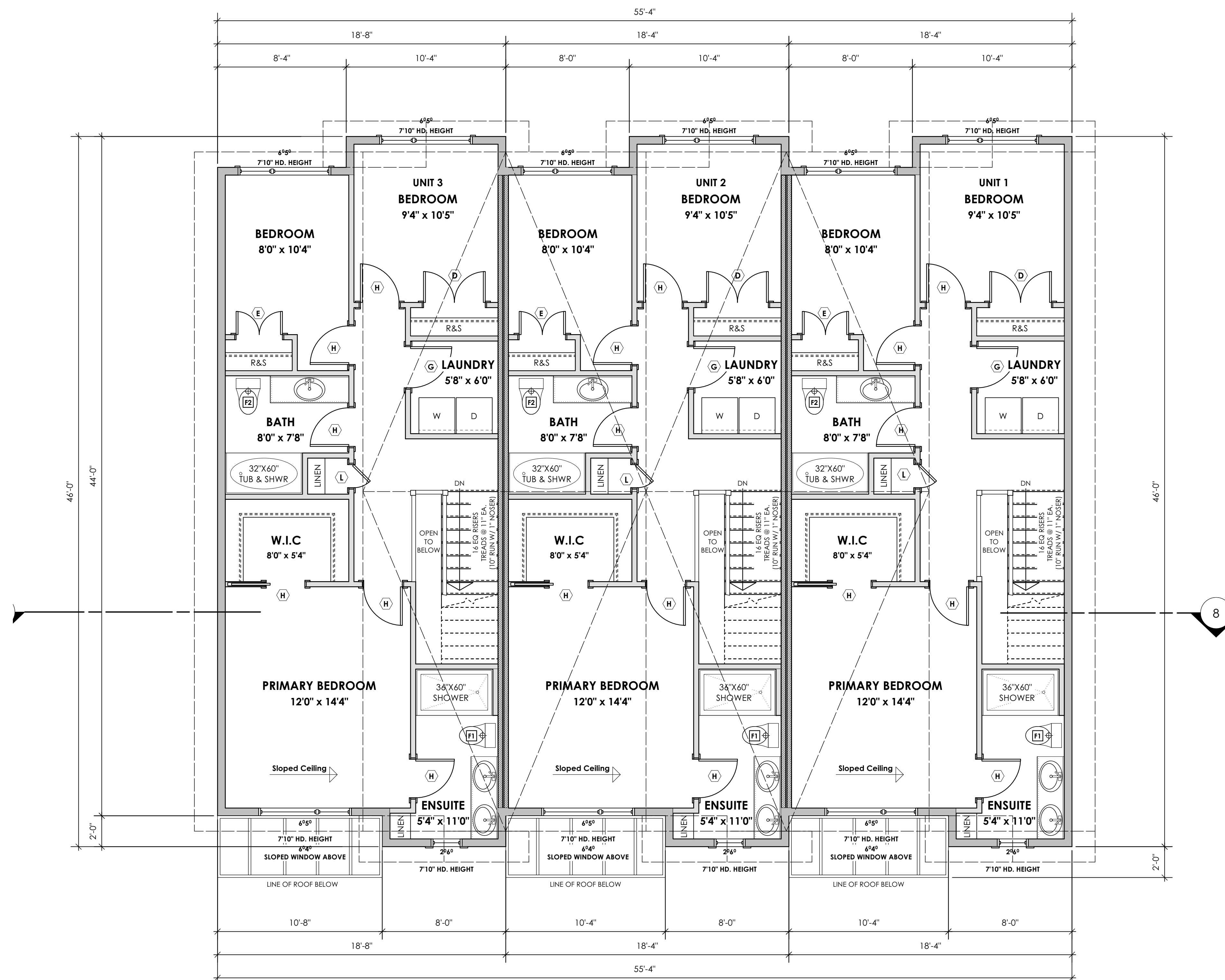
### Scale

Not to Scale

### Drawn By

MIS

# Proposed Rezoning - 946 Isabell Ave



7

## Triplex - Upper Floor Plan

Scale: 1/4" = 1'-0"

**FLOOR AREAS FOR MUNICIPAL BYLAWS:**

 UNIT 3: 770.76 ft² (71.61 m²)  
 UNIT 2: 784.50 ft² (72.88 m²)  
 UNIT 1: 770.67 ft² (71.60 m²)  
 TOTAL: 2325.93 ft² (216.09 m²)

**BUILDING AREAS FOR CONSTRUCTION:**

 UNIT 3: 813.71 ft² (75.60 m²)  
 UNIT 2: 806.78 ft² (74.95 m²)  
 UNIT 1: 813.75 ft² (75.60 m²)  
 TOTAL: 2434.24 ft² (226.15 m²)

**DOOR SCHEDULE**

(A)	8'0" X 6'8" (96" X 80")	(F)	2'10" X 6'8" (34" X 80")
(B)	6'0" X 6'8" (72" X 80")	(G)	2'8" X 6'8" (32" X 80")
(C)	5'0" X 6'8" (60" X 80")	(H)	2'6" X 6'8" (30" X 80")
(D)	4'0" X 6'8" (48" X 80")	(J)	2'4" X 6'8" (28" X 80")
(E)	3'0" X 6'8" (36" X 80")	(K)	2'0" X 6'8" (24" X 80")
		(L)	1'6" X 6'8" (18" X 80")

**Date**

August 12, 2024

**Project Address**

 946 Isabell Avenue  
Langford, BC

**Prepared for**

Khataw Developments

**Project #**

8870

**Scale**

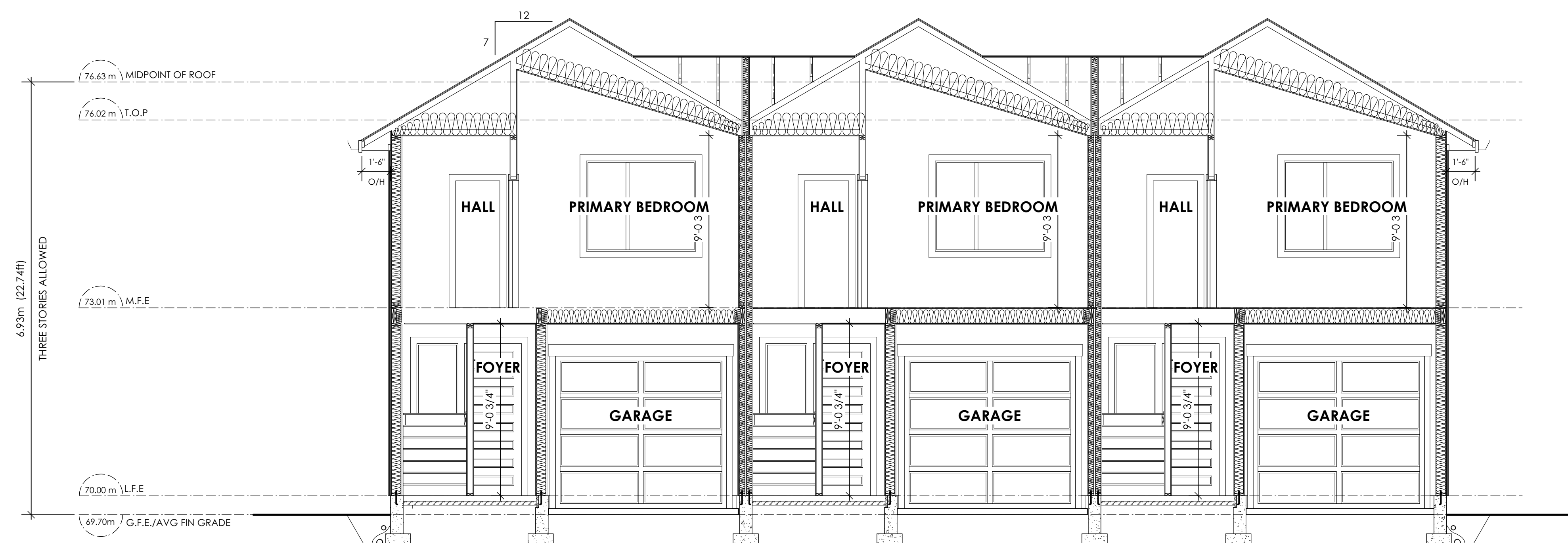
Not to Scale

**Drawn By**

MIS

# Proposed Rezoning - 946 Isabell Ave

#105 - 859 ORONO AVENUE  
 VICTORIA, B.C.  
 V9B 2T9  
 P. 250.382.7374  
 F. 250.382.7364



8

## Triplex Section (Block A)

Scale: 1/4" = 1'-0"

ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER.  
 STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR  
 AND INTERIOR WALL BRACING TO RESIST LATERAL LOADS IN COMPLIANCE  
 WITH B.C. BUILDING CODE 9.23.13 AND SUPPLY DETAILS IF REQUIRED

### Date

August 12, 2024

### Project Address

946 Isabell Avenue  
 Langford, BC

### Prepared for

Khataw Developments

### Project #

8870

### Scale

Not to Scale

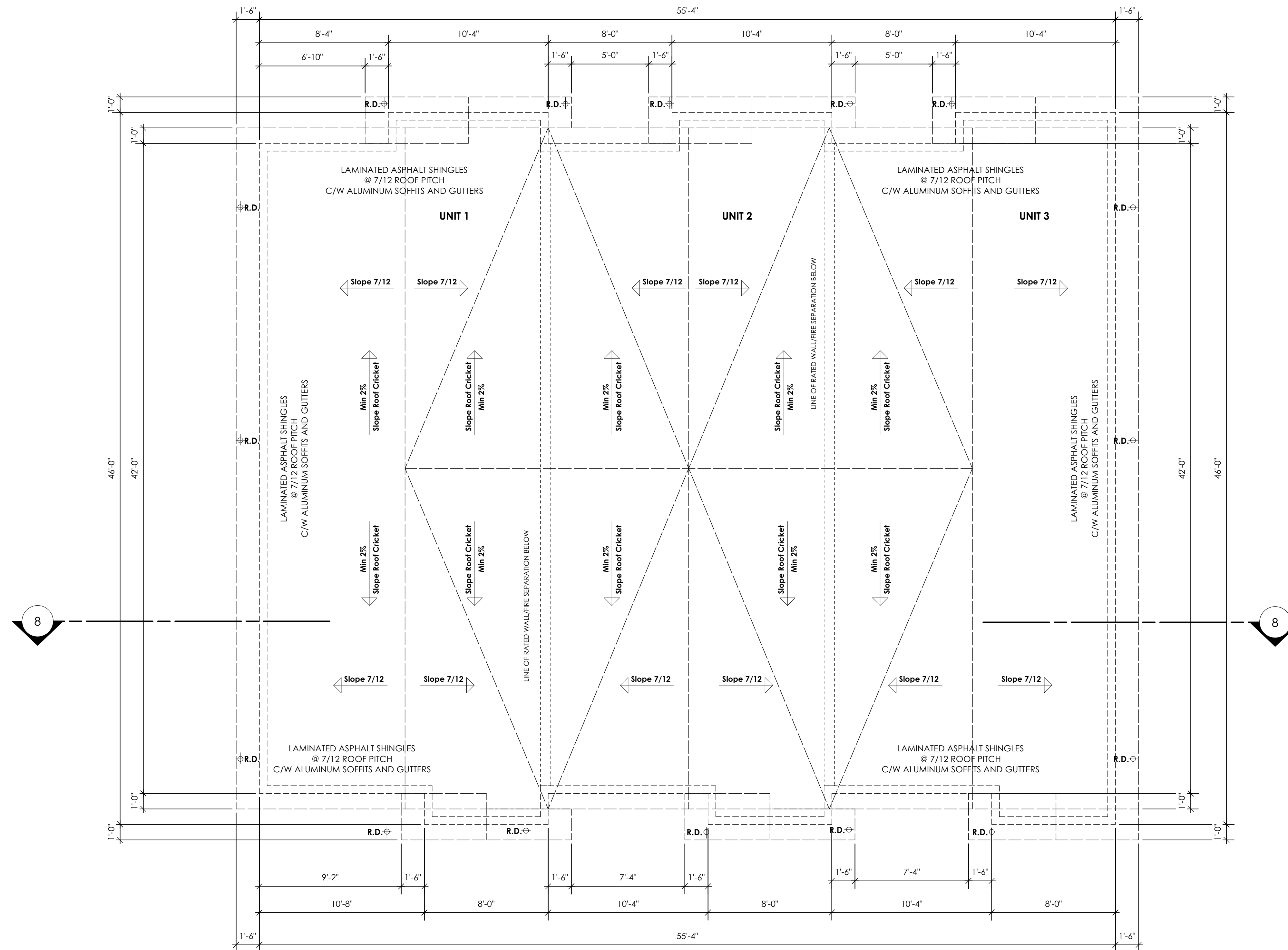
### Drawn By

MIS

# Proposed Rezoning - 946 Isabell Ave



#105 - 859 ORONO AVENUE  
VICTORIA, B.C.  
V9B 2T9  
P. 250.382.7374  
F. 250.382.7364



## 9 Triplex Roof Plan

Scale: 1/4" = 1'-0"

### ROOF DRAINAGE:

VERIFY PLACEMENT OF ROOF DRAINS (R.D.) AND RAIN WATER LEADERS (R.W.L.) PRIOR TO STARTING WORK. ROOF DRAIN PLACEMENT, SIZE, AND CONNECTIONS TO COMPLY W/ BCBC 5.6.2.2 & 9.26.18

### OVERFLOW SCUPPERS:

ROOFING SUB TRADE TO PROVIDE ADEQUATE OVERFLOW SCUPPERS ON ROOF PARAPET WALLS AND ROOF DECK PARAPET WALLS. VERIFY NUMBER REQUIRED AND LOCATION ON SITE.

### ROOF SLOPE:

ENSURE ADEQUATE ROOF SLOPE WITH SUB-TRADE/CONTRACTOR PRIOR TO STARTING WORK. TRUSS MANUFACTURER TO FABRICATE MIN 2% SLOPE TO DRAINS ON "FLAT" PORTIONS OF ROOF TO COMPLY W/ BCBC 9.26.3.1. (SEE MANUFACTURER FOR SPECIFICATIONS AND INSTALLATION INSTRUCTIONS FOR ROOF DRAINS)

### ROOF VENTING:

PROVIDE ADEQUATE ROOF VENTING TO COMPLY W/ BCBC 9.19.1 - (SEE MANUFACTURER FOR SPECIFICATION AND INSTALLATION INSTRUCTIONS FOR ROOF VENTS). REVIEW AND VERIFY MECHANICAL DRAWINGS FOR SPECIFICATIONS AND LOCATIONS OF MECHANICAL EQUIPMENT, SHAFTS AND VENTS.

### Date

August 12, 2024

### Project Address

946 Isabell Avenue  
Langford, BC

### Prepared for

Khataw Developments

### Project #

8870

### Scale

Not to Scale

### Drawn By

MIS

# Proposed Rezoning - 946 Isabell Ave



10 **Front Elevation**  
Scale: 1/4" = 1'-0"

Limiting Distance	8.98	m.
Exposed Building Face	148.08	sq.m.
Allowable Openings	34.00	%
Allowable Opening Area	50.35	sq.m.
Proposed Openings	48.48	sq.m.

ROOF		BLACK SHINGLE
SOFFIT		IRON ORE (OR SIMILAR)
DOWNSPOUTS		IRON ORE (OR SIMILAR)
GUTTER		IRON ORE (OR SIMILAR)
TRIMBOARDS		BENJAMIN MOORE - GRAPHITE (OR SIMILAR)
PANEL SIDING		LONGBOARD CLADDING - WESTERN CEDAR (OR SIMILAR)
PANEL SIDING		CONCRETE FIBRE PANEL - GRAPHITE (OR SIMILAR)
METAL SIDING		VERTICAL METAL SIDING - LIGHT GREY (OR SIMILAR)
DOORS		CEDAR GEL STAIN (OR SIMILAR)
CONCRETE		GREY



11 **Right Side Elevation**  
Scale: 1/4" = 1'-0"

Limiting Distance	1.85	m.
Exposed Building Face	89.03	sq.m.
Allowable Openings	8.50	%
Allowable Opening Area	7.57	sq.m.
Proposed Openings	0.68	sq.m.

**Date**  
August 12, 2024

**Project Address**  
946 Isabell Avenue  
Langford, BC

**Prepared for**  
Khataw Developments

**Project #**  
8870

**Scale**  
Not to Scale

**Drawn By**  
MIS

Proposed Rezoning - 946 Isabell Ave

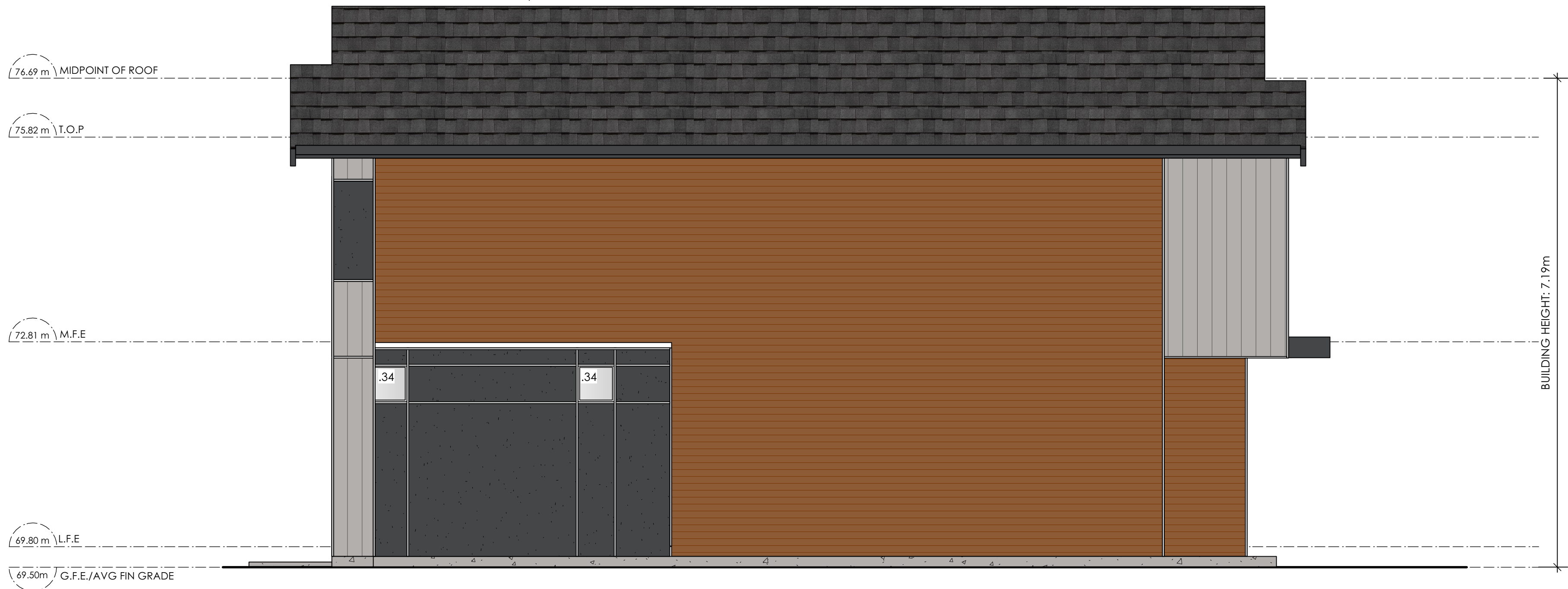




12 **Rear Elevation**  
Scale: 1/4" = 1'-0"

Limiting Distance	7.01	m.
Exposed Building Face	148.08	sq.m.
Allowable Openings	45.00	%
Allowable Opening Area	66.63	sq.m.
Proposed Openings	52.60	sq.m.

ROOF		BLACK SHINGLE
SOFFIT		IRON ORE (OR SIMILAR)
DOWNSPOUTS		IRON ORE (OR SIMILAR)
GUTTER		IRON ORE (OR SIMILAR)
TRIMBOARDS		BENJAMIN MOORE - GRAPHITE (OR SIMILAR)
PANEL SIDING		LONGBOARD CLADDING - WESTERN CEDAR (OR SIMILAR)
PANEL SIDING		CONCRETE FIBRE PANEL - GRAPHITE (OR SIMILAR)
METAL SIDING		VERTICAL METAL SIDING - LIGHT GREY (OR SIMILAR)
DOORS		CEDAR GEL STAIN (OR SIMILAR)
CONCRETE		GREY



13 **Left Side Elevation**  
Scale: 1/4" = 1'-0"

Limiting Distance	1.50	m.
Exposed Building Face	89.03	sq.m.
Allowable Openings	7.00	%
Allowable Opening Area	6.23	sq.m.
Proposed Openings	0.68	sq.m.

Date

August 12, 2024

Project Address

946 Isabell Avenue  
Langford, BC

Prepared for

Khataw Developments

Project #

8870

Scale

Not to Scale

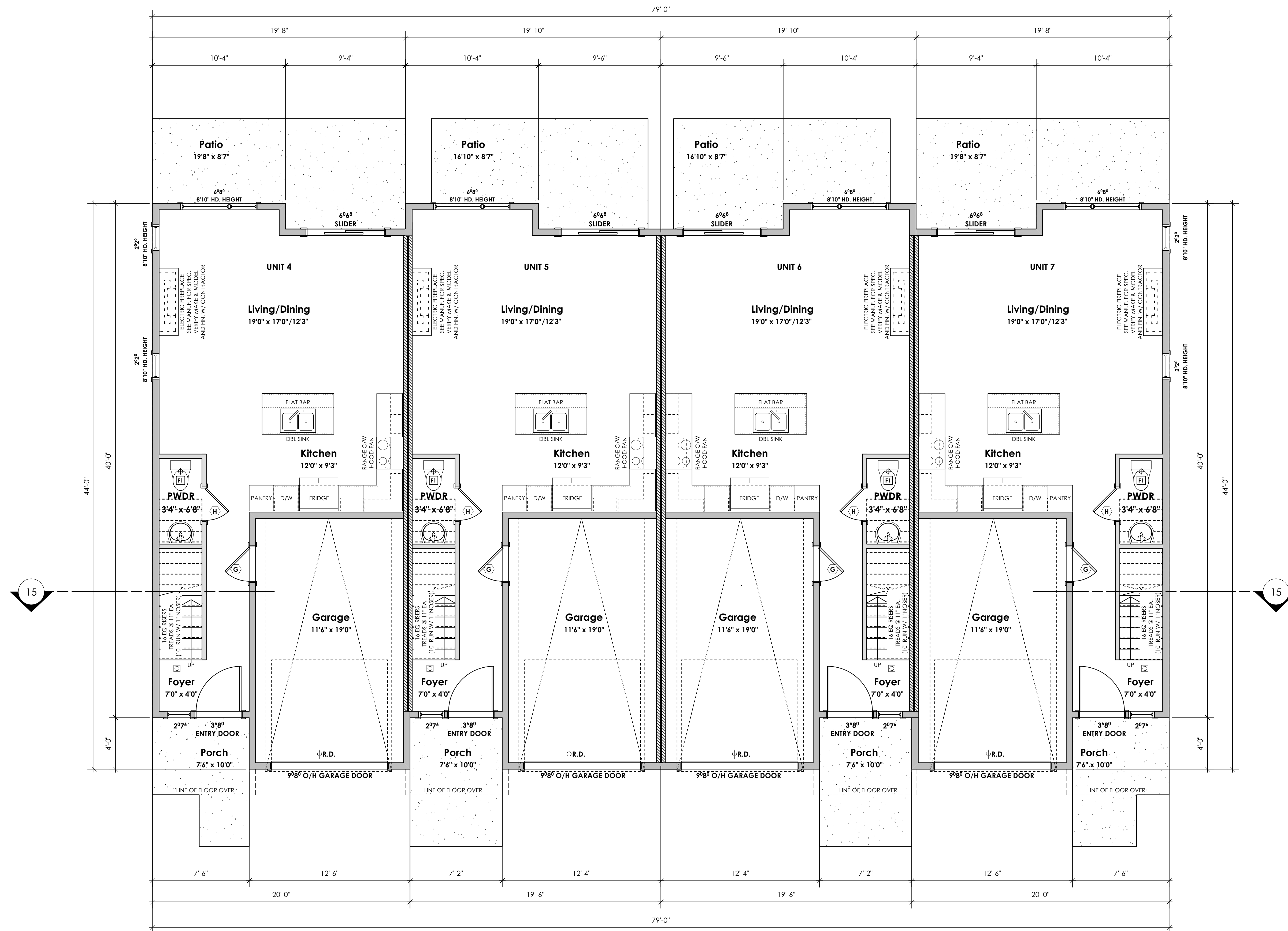
Drawn By

MIS

Proposed Rezoning - 946 Isabell Ave



#105 - 859 ORONO AVENUE  
VICTORIA, B.C.  
V9B 2T9  
P. 250.382.7374  
F. 250.382.7364



13

## Quadplex - Main Floor Plan

Scale: 1/4" = 1'-0"

### FLOOR AREAS FOR MUNICIPAL BYLAWS:

UNIT 1: 552.83 ff <sup>2</sup> (51.36 m <sup>2</sup> )	UNIT 1 - GARAGE: 218.50 ff <sup>2</sup> (20.30 m <sup>2</sup> )
UNIT 2: 555.17 ff <sup>2</sup> (51.58 m <sup>2</sup> )	UNIT 2 - GARAGE: 218.50 ff <sup>2</sup> (20.30 m <sup>2</sup> )
UNIT 3: 555.17 ff <sup>2</sup> (51.58 m <sup>2</sup> )	UNIT 3 - GARAGE: 218.50 ff <sup>2</sup> (20.30 m <sup>2</sup> )
UNIT 4: 542.83 ff <sup>2</sup> (50.53 m <sup>2</sup> )	UNIT 4 - GARAGE: 218.50 ff <sup>2</sup> (20.30 m <sup>2</sup> )
TOTAL: 2206.00 ff <sup>2</sup> (205.05 m <sup>2</sup> )	TOTAL: 874.00 ff <sup>2</sup> (81.20 m <sup>2</sup> )

### BUILDING AREAS FOR CONSTRUCTION:

UNIT 1: 577.00 ff <sup>2</sup> (53.61 m <sup>2</sup> )	UNIT 1 - GARAGE: 247.33 ff <sup>2</sup> (22.98 m <sup>2</sup> )
UNIT 2: 570.67 ff <sup>2</sup> (53.02 m <sup>2</sup> )	UNIT 2 - GARAGE: 246.67 ff <sup>2</sup> (22.92 m <sup>2</sup> )
UNIT 3: 570.67 ff <sup>2</sup> (53.02 m <sup>2</sup> )	UNIT 3 - GARAGE: 246.67 ff <sup>2</sup> (22.92 m <sup>2</sup> )
UNIT 4: 577.00 ff <sup>2</sup> (53.61 m <sup>2</sup> )	UNIT 4 - GARAGE: 247.33 ff <sup>2</sup> (22.98 m <sup>2</sup> )
TOTAL: 2295.34 ff <sup>2</sup> (213.26 m <sup>2</sup> )	TOTAL: 988.00 ff <sup>2</sup> (91.80 m <sup>2</sup> )

### DOOR SCHEDULE

(A) 8'0" X 6'8" (96" X 80")	(F) 2'10" X 6'8" (34" X 80")
(B) 6'0" X 6'8" (72" X 80")	(G) 2'8" X 6'8" (32" X 80")
(C) 5'0" X 6'8" (60" X 80")	(H) 2'6" X 6'8" (30" X 80")
(D) 4'0" X 6'8" (48" X 80")	(J) 2'4" X 6'8" (28" X 80")
(E) 3'0" X 6'8" (36" X 80")	(K) 2'0" X 6'8" (24" X 80")
	(L) 1'6" X 6'8" (18" X 80")

### Date

August 12, 2024

### Project Address

946 Isabell Avenue  
Langford, BC

### Prepared for

Khataw Developments

### Project #

8870

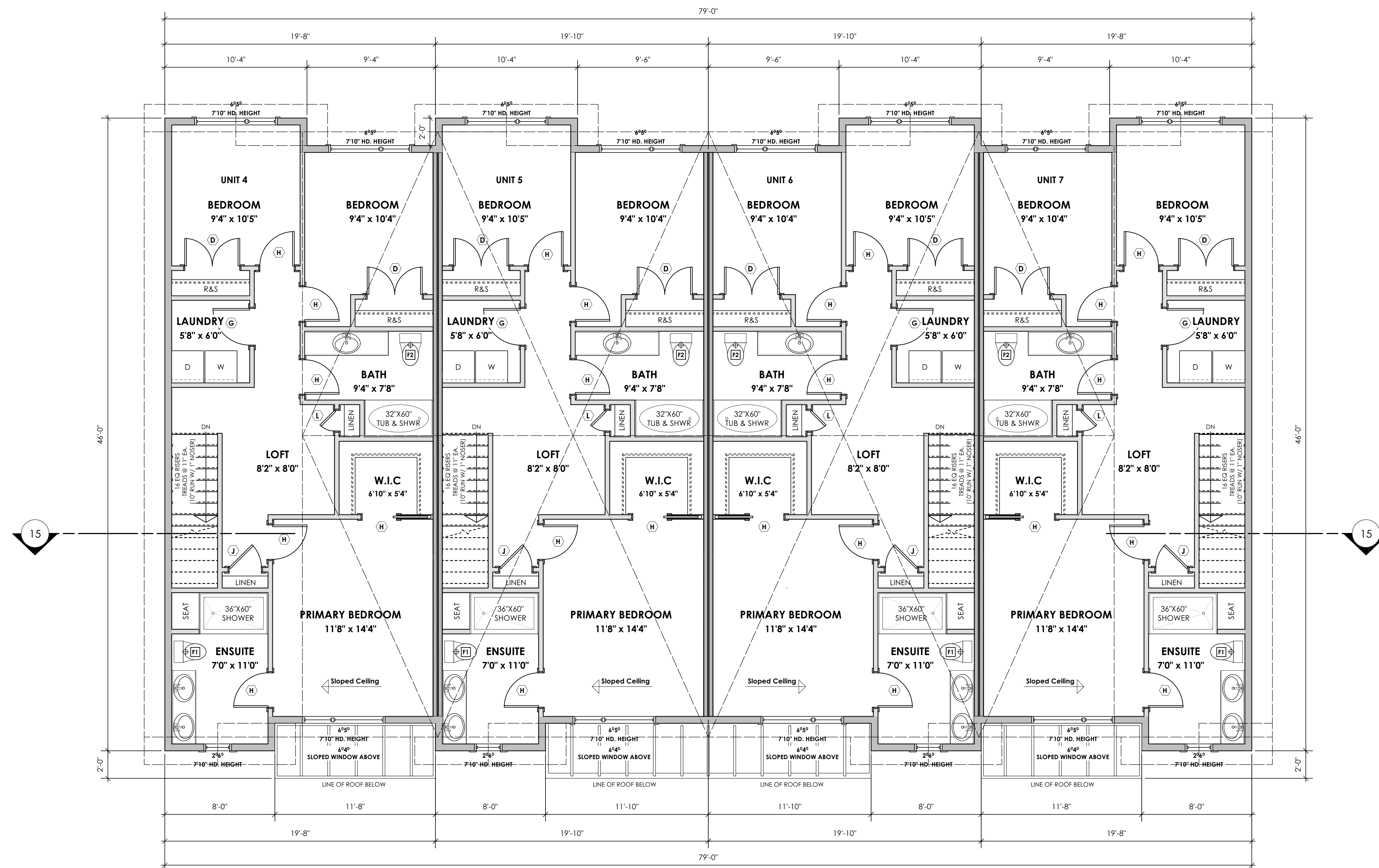
### Scale

Not to Scale

### Drawn By

MIS

# Proposed Rezoning - 946 Isabell Ave



14

## Quaplex - Upper Floor Plan

Scale: 1/4" = 1'-0"

## FLOOR AREAS FOR MUNICIPAL BYLAWS:

 UNIT 1: 825.33 ft<sup>2</sup> (76.68 m<sup>2</sup>)  
 UNIT 2: 839.00 ft<sup>2</sup> (77.95 m<sup>2</sup>)  
 UNIT 3: 839.00 ft<sup>2</sup> (77.95 m<sup>2</sup>)  
 UNIT 4: 825.33 ft<sup>2</sup> (76.68 m<sup>2</sup>)  
 TOTAL: 3328.66 ft<sup>2</sup> (309.26 m<sup>2</sup>)

## BUILDING AREAS FOR CONSTRUCTION:

 UNIT 1: 869.67 ft<sup>2</sup> (80.79 m<sup>2</sup>)  
 UNIT 2: 862.78 ft<sup>2</sup> (80.15 m<sup>2</sup>)  
 UNIT 3: 862.78 ft<sup>2</sup> (80.15 m<sup>2</sup>)  
 UNIT 4: 869.67 ft<sup>2</sup> (80.79 m<sup>2</sup>)  
 TOTAL: 3464.90 ft<sup>2</sup> (321.88 m<sup>2</sup>)

## DOOR SCHEDULE

(A)	8'0" X 6'8" (96" X 80")	(F)	2'10" X 6'8" (34" X 80")
(B)	6'0" X 6'8" (72" X 80")	(G)	2'8" X 6'8" (32" X 80")
(C)	5'0" X 6'8" (60" X 80")	(H)	2'6" X 6'8" (30" X 80")
(D)	4'0" X 6'8" (48" X 80")	(J)	2'4" X 6'8" (28" X 80")
(E)	3'0" X 6'8" (36" X 80")	(K)	2'0" X 6'8" (24" X 80")
		(L)	1'6" X 6'8" (18" X 80")

## Date

August 12, 2024

## Project Address

 946 Isabell Avenue  
Langford, BC

## Prepared for

Khataw Developments

## Project #

8870

## Scale

Not to Scale

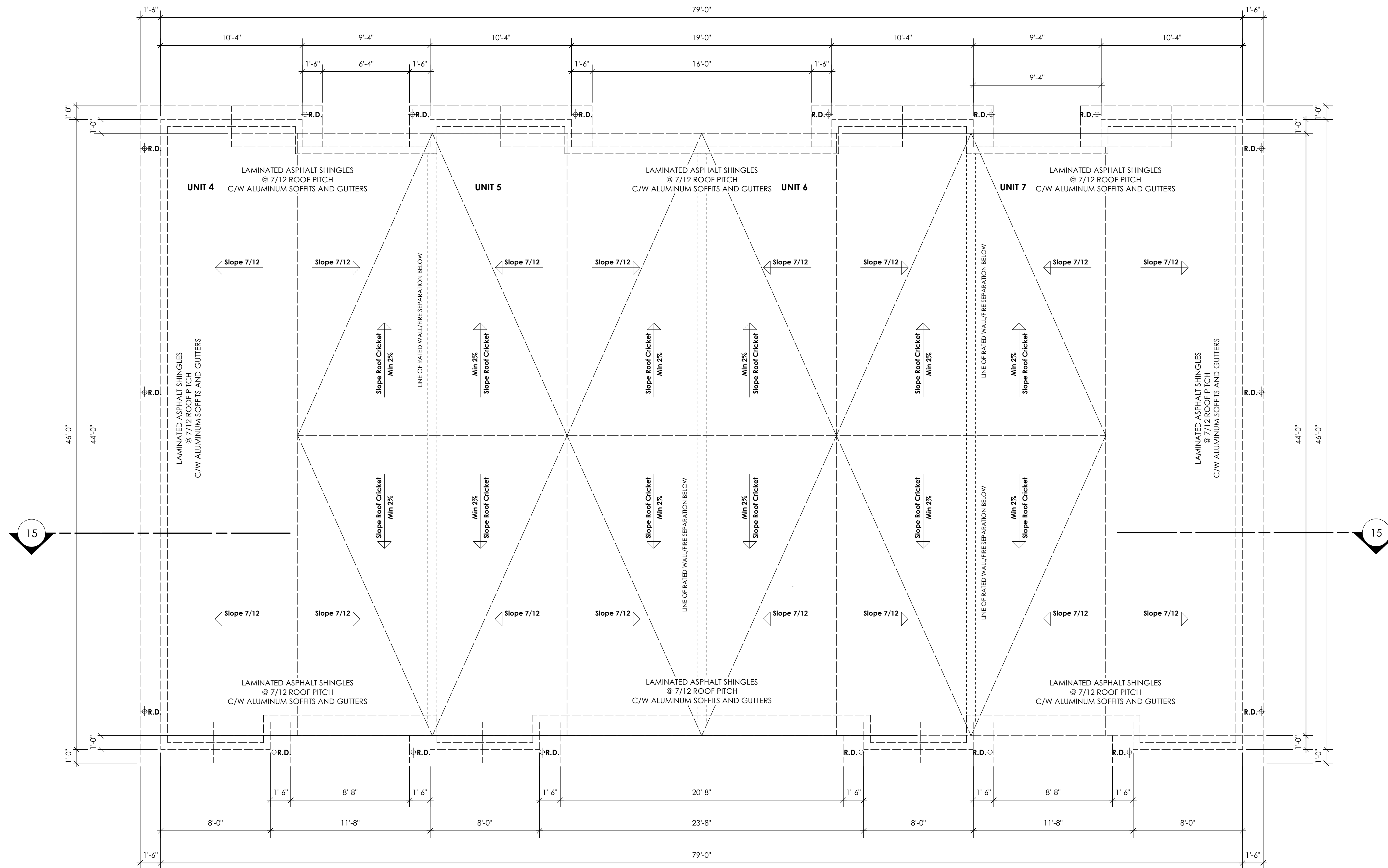
## Drawn By

MIS

# Proposed Rezoning - 946 Isabell Ave



#105 - 859 ORONO AVENUE  
VICTORIA, B.C.  
V9B 2T9  
P. 250.382.7374  
F. 250.382.7364



14

## Quadplex Roof Plan

Scale: 1/4" = 1'-0"

**ROOF DRAINAGE:**  
VERIFY PLACEMENT OF ROOF DRAINS (R.D.) AND RAIN WATER LEADERS (R.W.L.) PRIOR TO STARTING WORK. ROOF DRAIN PLACEMENT, SIZE, AND CONNECTIONS TO COMPLY W/ BCBC 5.6.2.2 & 9.26.18

**OVERFLOW SCUPPERS:**  
ROOFING SUB TRADE TO PROVIDE ADEQUATE OVERFLOW SCUPPERS ON ROOF PARAPET WALLS AND ROOF DECK PARAPET WALLS. VERIFY NUMBER REQUIRED AND LOCATION ON SITE.

**ROOF SLOPE:**  
ENSURE ADEQUATE ROOF SLOPE WITH SUB-TRADE/CONTRACTOR PRIOR TO STARTING WORK. TRUSS MANUFACTURER TO FABRICATE MIN 2% SLOPE TO DRAINS ON "FLAT" PORTIONS OF ROOF TO COMPLY W/ BCBC 9.26.3.1. (SEE MANUFACTURER FOR SPECIFICATIONS AND INSTALLATION INSTRUCTIONS FOR ROOF DRAINS)

**ROOF VENTING:**  
PROVIDE ADEQUATE ROOF VENTING TO COMPLY W/ BCBC 9.19.1 - (SEE MANUFACTURER FOR SPECIFICATION AND INSTALLATION INSTRUCTIONS FOR ROOF VENTS). REVIEW AND VERIFY MECHANICAL DRAWINGS FOR SPECIFICATIONS AND LOCATIONS OF MECHANICAL EQUIPMENT, SHAFTS AND VENTS.

### Date

August 12, 2024

### Project Address

946 Isabell Avenue  
Langford, BC

### Prepared for

Khataw Developments

### Project #

8870

### Scale

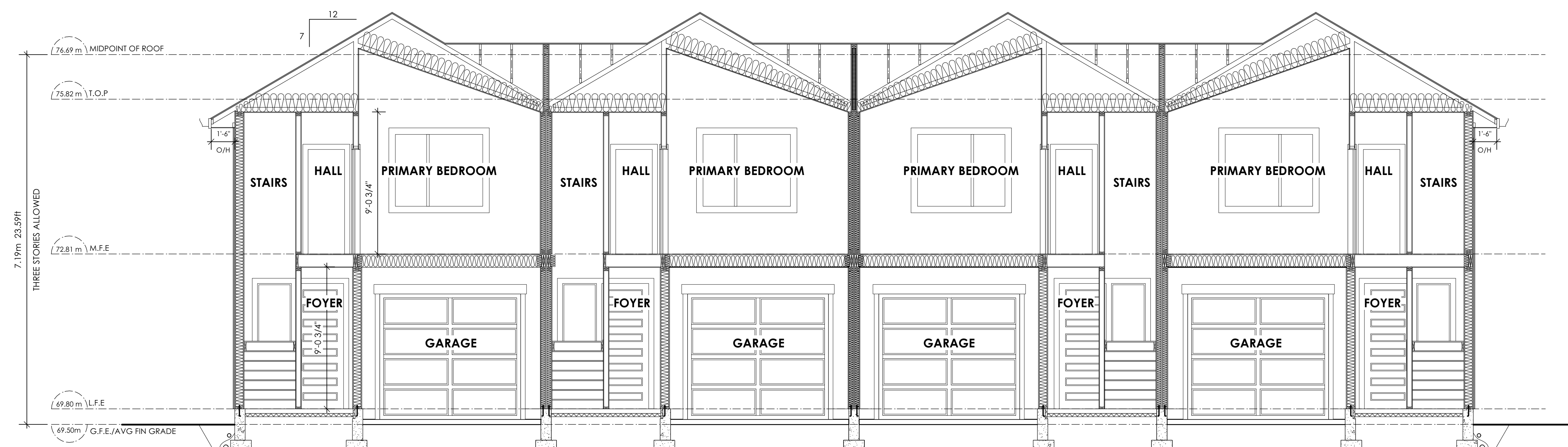
Not to Scale

### Drawn By

MIS

# Proposed Rezoning - 946 Isabell Ave





15

## Quadplex Section (Block B)

Scale: 1/4" = 1'-0"

ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER.  
 STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR  
 AND INTERIOR WALL BRACING TO RESIST LATERAL LOADS IN COMPLIANCE  
 WITH B.C. BUILDING CODE 9.23.13 AND SUPPLY DETAILS IF REQUIRED

### Date

August 12, 2024

### Project Address

946 Isabell Avenue  
 Langford, BC

### Prepared for

Khataw Developments

### Project #

8870

### Scale

Not to Scale

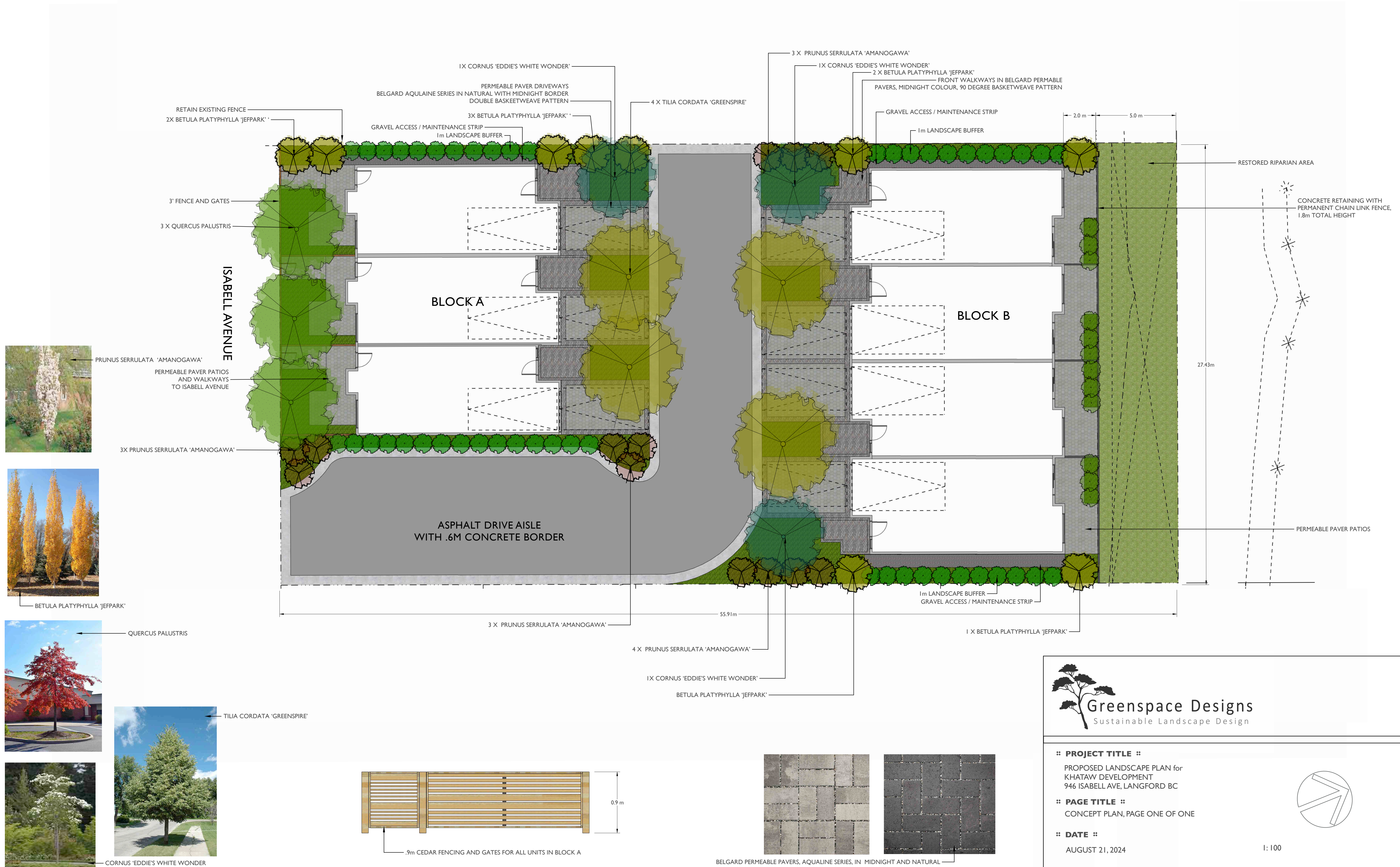
### Drawn By

MIS

# Proposed Rezoning - 946 Isabell Ave



CONCEPT PLAN — PROPOSED REDEVELOPMENT - 946 ISABELL AVENUE, LANGFORD BC





**CITY OF LANGFORD  
BYLAW NO. 2191**

**A BYLAW TO AMEND BYLAW NO. 300,  
“LANGFORD ZONING BYLAW, 1999”**

The Council of the City of Langford, in open meeting assembled, hereby enacts as follows:

A. Langford Zoning Bylaw No. 300, 1999 is amended as follows:

1. By deleting from the R2 (One- and Two-Family Residential) Zone and adding to the RT1 (Residential Townhouse) Zone legally described as Lot 6, Section 84, Esquimalt District, Plan 22027, PID No. 003-290-182 (946 Isabell Avenue), as shown shaded on Schedule A attached to and forming part of this Bylaw.
2. By adding the following to Table 1 of Schedule AD:

Zone	Bylaw No.	Legal Description	Amenity Contributions	Eligible for Reduction in Section 2 of Schedule AD
RT1	2191	a) Lot 6, Section 84, Esquimalt District, Plan 22027, PID No. 003-290-182 (946 Isabell Ave)	A)\$3,660 per residential unit created towards the General Amenity Reserve Fund; and B)\$610 per unit created towards the Affordable Housing Reserve Fund	No

B. This Bylaw may be cited for all purposes as “Langford Zoning Bylaw, Amendment No. 730 (946 Isabell Avenue), Bylaw No. 2191, 2024”.

READ A FIRST TIME this    day of    , 2024.

READ A SECOND TIME this    day of    , 2024.

READ A THIRD TIME this    day of    , 2024.

APPROVED BY THE MINISTRY OF TRANSPORTATION AND INFRASTRUCTURE this    day of    , 2024

ADOPTED this    day of    , 2024.

\_\_\_\_\_  
PRESIDING COUNCIL MEMBER

\_\_\_\_\_  
CORPORATE OFFICER



North

RS1

3221

3217

3212

3208

3204

3209

3205

956

3225

967

963

959

955

947

943

939

935

931

927

923

919

915

901

913

925

3230

3234

Marley Crt

Isabell Ave

Firehall Creek Rd

RS1

R2

P4

946

**SUBJECT  
PROPERTY**

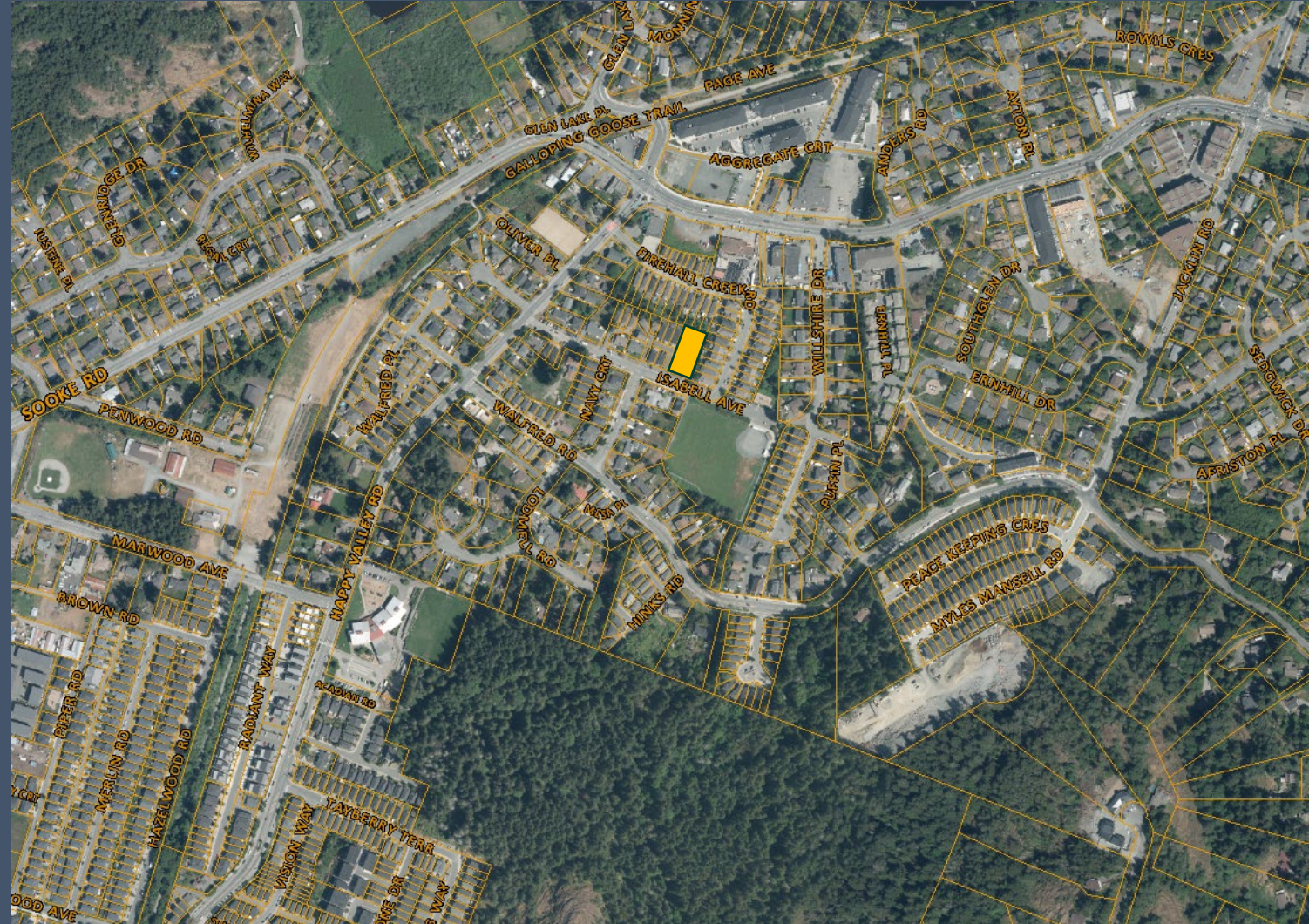
# 946 ISABELL AVENUE

REZONING PROPOSAL FOR RESIDENTIAL TOWNHOMES



# INTRODUCTION

- Application to rezone 946 Isabell Avenue from the existing R2 Residential Zone to the RT1 Zone to accommodate 7 townhomes.
- Complies with the Official Community Plan for the Neighbourhood designation.
- Parking complies with Langford Bylaws: 2 per unit plus 2 visitor parking stalls on site.
- No variances requested.





# OCP COMPLIANCE

The property lies within the Neighbourhood OCP designation.

## OCP Designations

 Agricultural	 Hillside or Shoreline	 Open Space
 Business or Light Industrial	 Mixed Use Employment Centre	 Village Centre
 City Centre	 Neighbourhood	 Town Centre
	 Neighbourhood Centre	





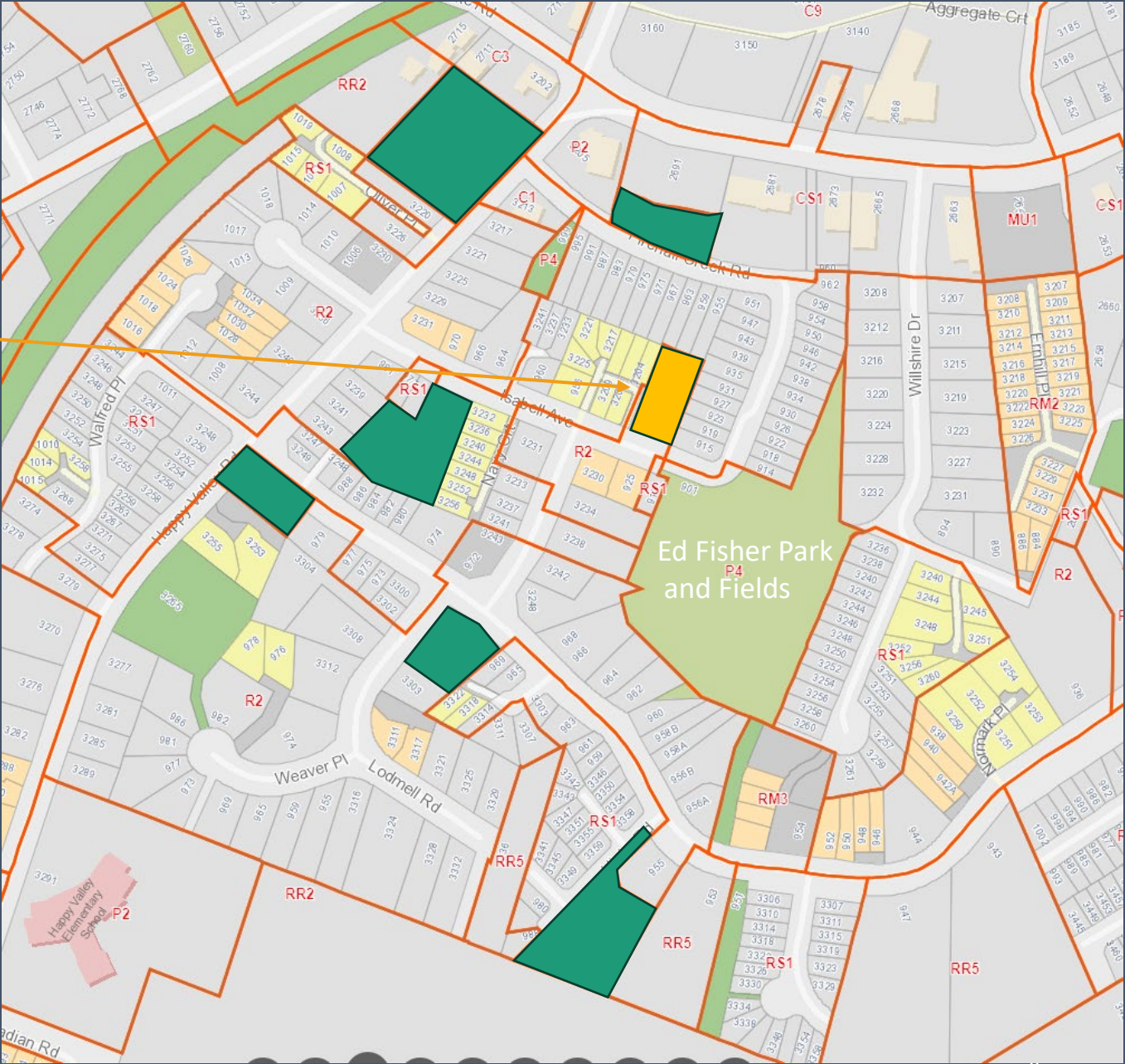
## Neighbourhood

*Existing settled areas throughout the community predominantly located on the valley floor.*

- Predominantly residential precinct that supports a range of low and medium density housing choices including secondary suites
- This area allows for residential and mixed use commercial intensification of streets that connect centres and/or are serviced by transit
- Schools, community facilities and other institutional uses are permitted throughout the area
- Retail serving local residents is encouraged along transportation corridors
- Home-based businesses, live-work housing is encouraged
- Parks, open spaces and recreational facilities are integrated throughout the area
- This area allows for *Neighbourhood Centres* to emerge in the form of medium density mixed-use nodes at key intersections.
- Transit stops are located where appropriate

# SITE and SURROUNDING USES

-  946 Isabell Ave
-  Existing Townhouse Zoned Land





# EXISTING CONDITIONS







# PROPOSED TOWNHOMES SITE PLAN



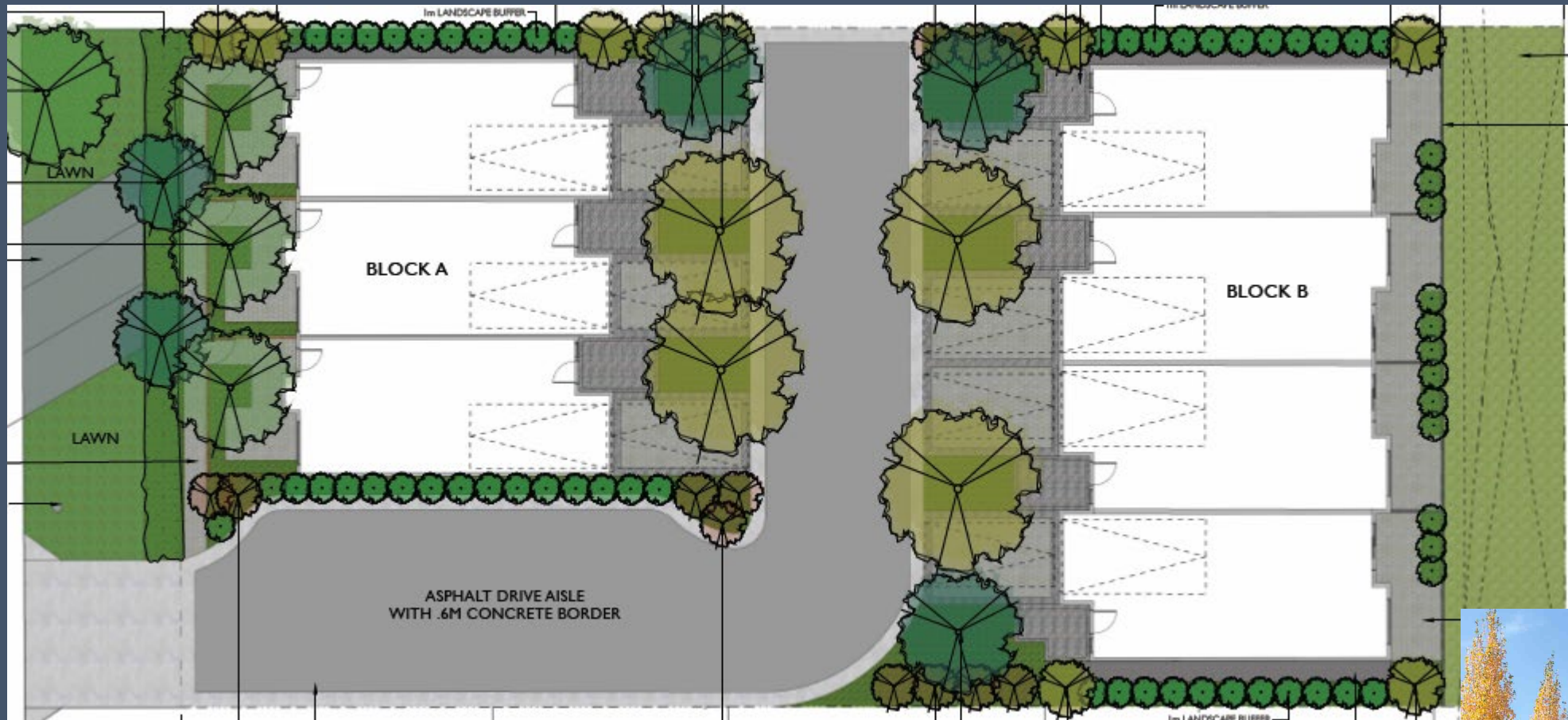
# PROPOSED TOWNHOMES - ELEVATIONS



Conceptual Rendering – 946 Isabell Avenue



# LANDSCAPE PLAN



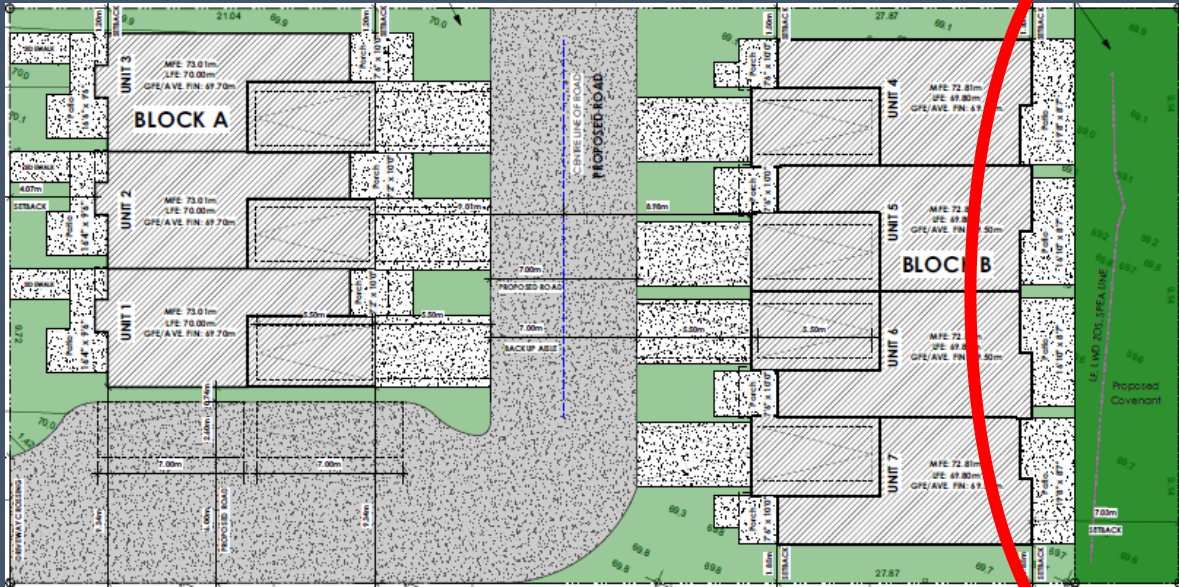
No trees to be removed for this development

Private amenity spaces for each unit.

Ed Fisher Park is right across the street, complete with playing fields and a playground.



# FIREHALL CREEK RIPARIAN AREA



A 5-metre wide riparian enhancement area has been protected adjacent to Firehall Creek.

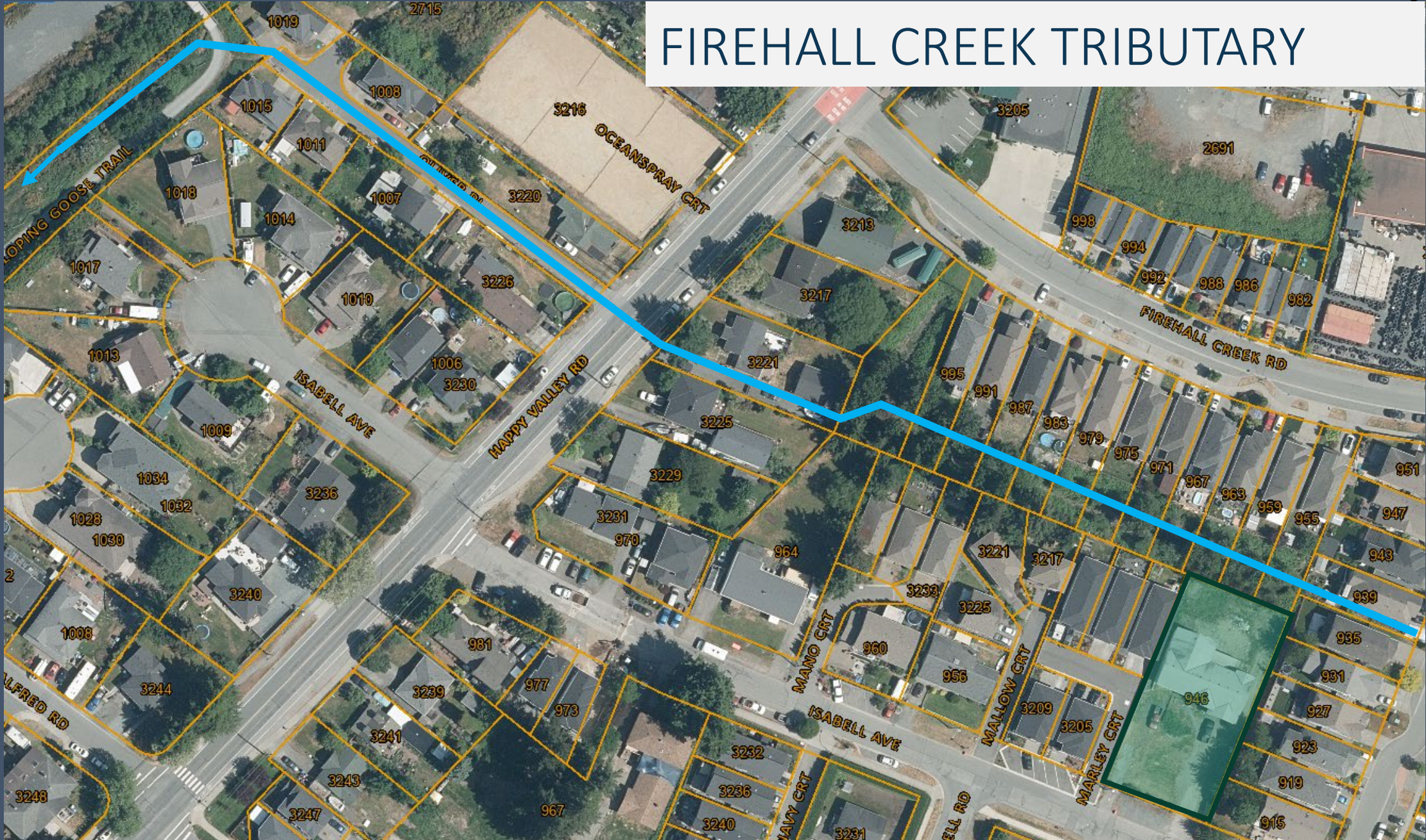
This area will be rehabilitated, invasive species removed and replanted in accordance with QEP recommendations.

A RAPR Submission #7957E approval was granted by the Ministry on March 1, 2024.

The Bilston Watershed Habitat Protection Association has been advised of this application and of the RAPR approval via email.



# FIREHALL CREEK TRIBUTARY



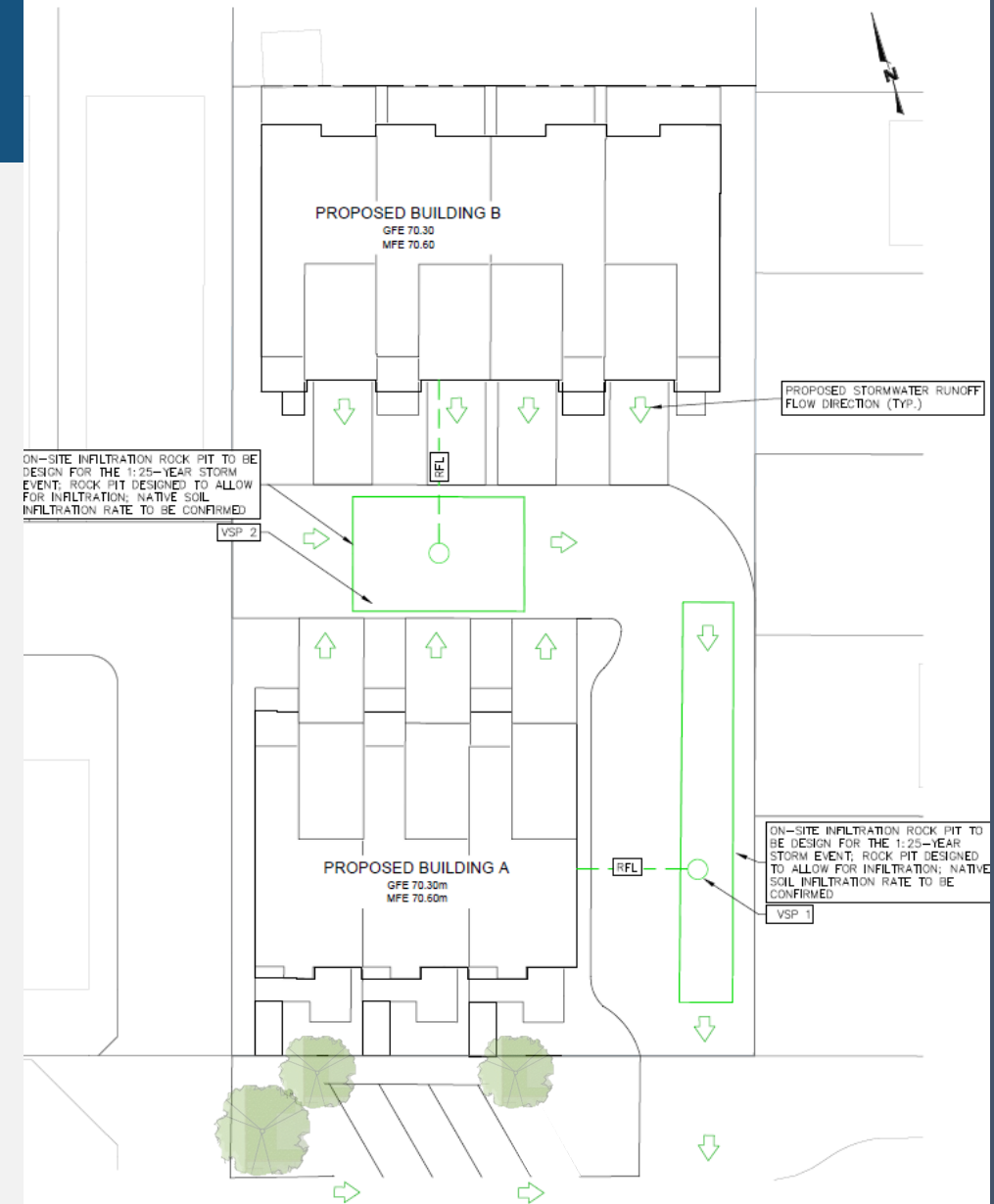


# STORM WATER MANAGEMENT

The Isabell / Walfred area master drainage plans were created and implemented over the last 20 years, with massive detention facilities and pipework installed under Ed Fisher field and downstream to the Firehall Creek system.

Storm Drainage for this site will be designed in accordance with Langford Bylaws and managed to ensure no negative impacts to surrounding properties. Storm waters will be detained using infiltration chambers and slowly released to mimic existing conditions.

The effects of climate change are factored into these designs.





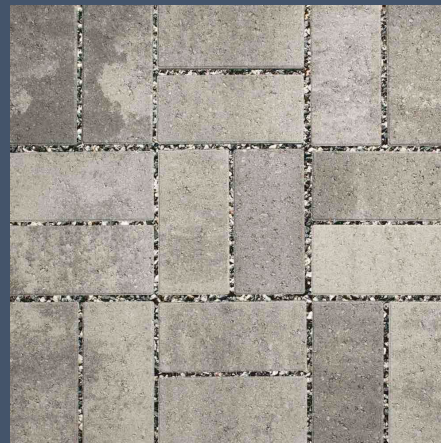
# SITE SERVICING AND FRONTAGE IMPROVEMENTS

- West Shore Environmental Sewer Service Available.
- CRD Water for domestic and fire fighting.
- Frontage works will include street lighting and 3 public parking spaces and street trees.
- All services to be underground.
- “Good Neighbour” Construction practices will be employed for noise, dust and mud control. No blasting is expected.
- Trades parking will be on site.



# GREEN CHECKLIST

- Trees strategically planted to provide shade in summer but allow light and warmth in the winter months.
- 29 new trees to be planted.
- Permeable patio pavers.
- Electric heat pumps for reduced fossil fuel dependency
- EV Charger ready in each garage
- Built to Step Code 3 and Built Green Gold, Build Green Certified builder.
- Carbon sequestered concrete for foundations.
- Long lasting low maintenance exteriors
- Energy Star appliances



# ENVIRONMENTAL BENEFITS

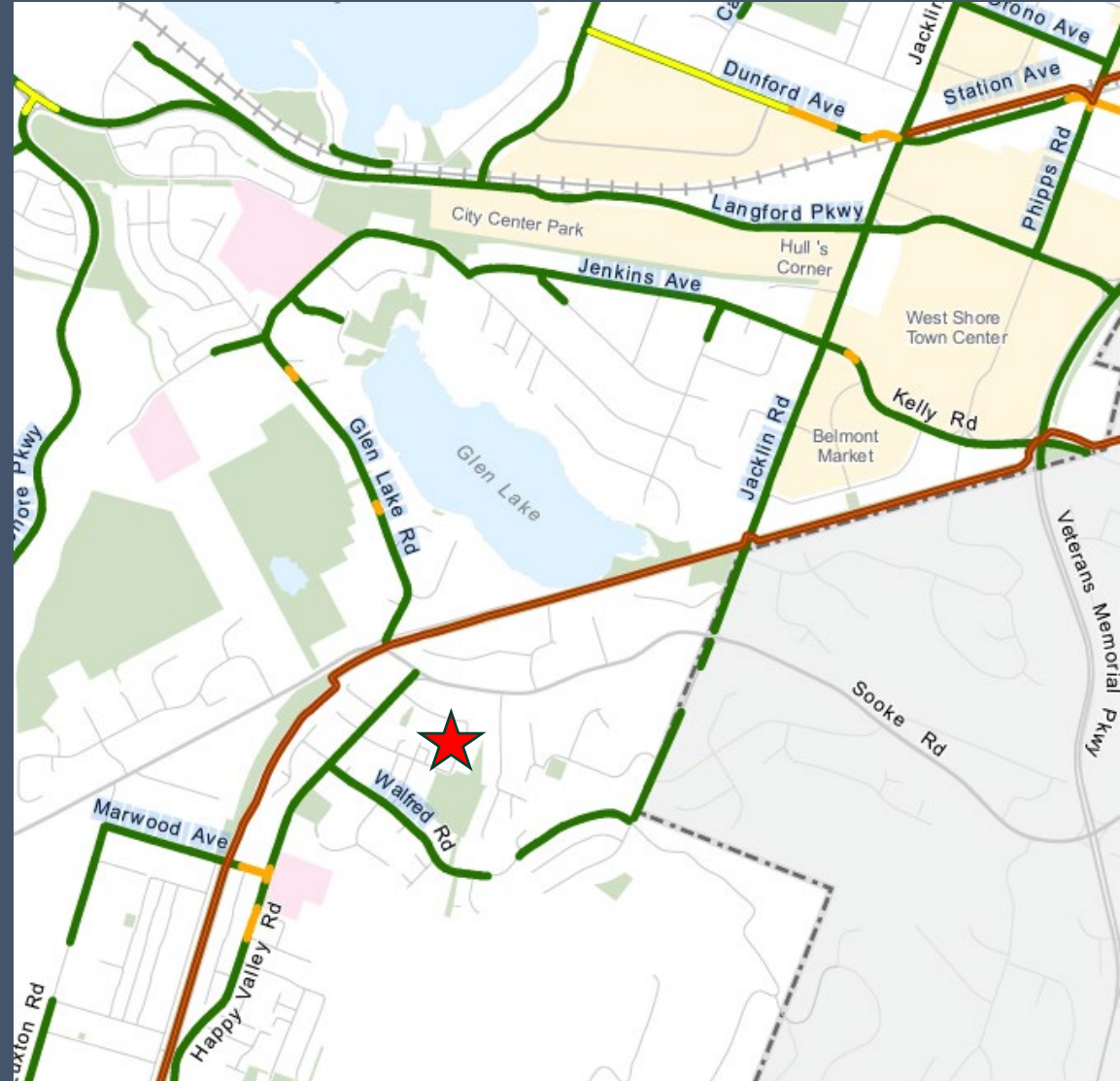
- Densification and infill development reduces urban sprawl.
- Easy access to transit and cycling reduces dependence on automobiles.
- Walking distance to shops and services
- Native and compatible plantings and drought resistant landscape materials will be used.
- Large family sized units with home offices, reducing the need to commute.
- Riparian restoration for Firehall Creek tributary.





# ACCESS TO CYCLING

Access to cycling facilities and the Galloping Goose Trail nearby.



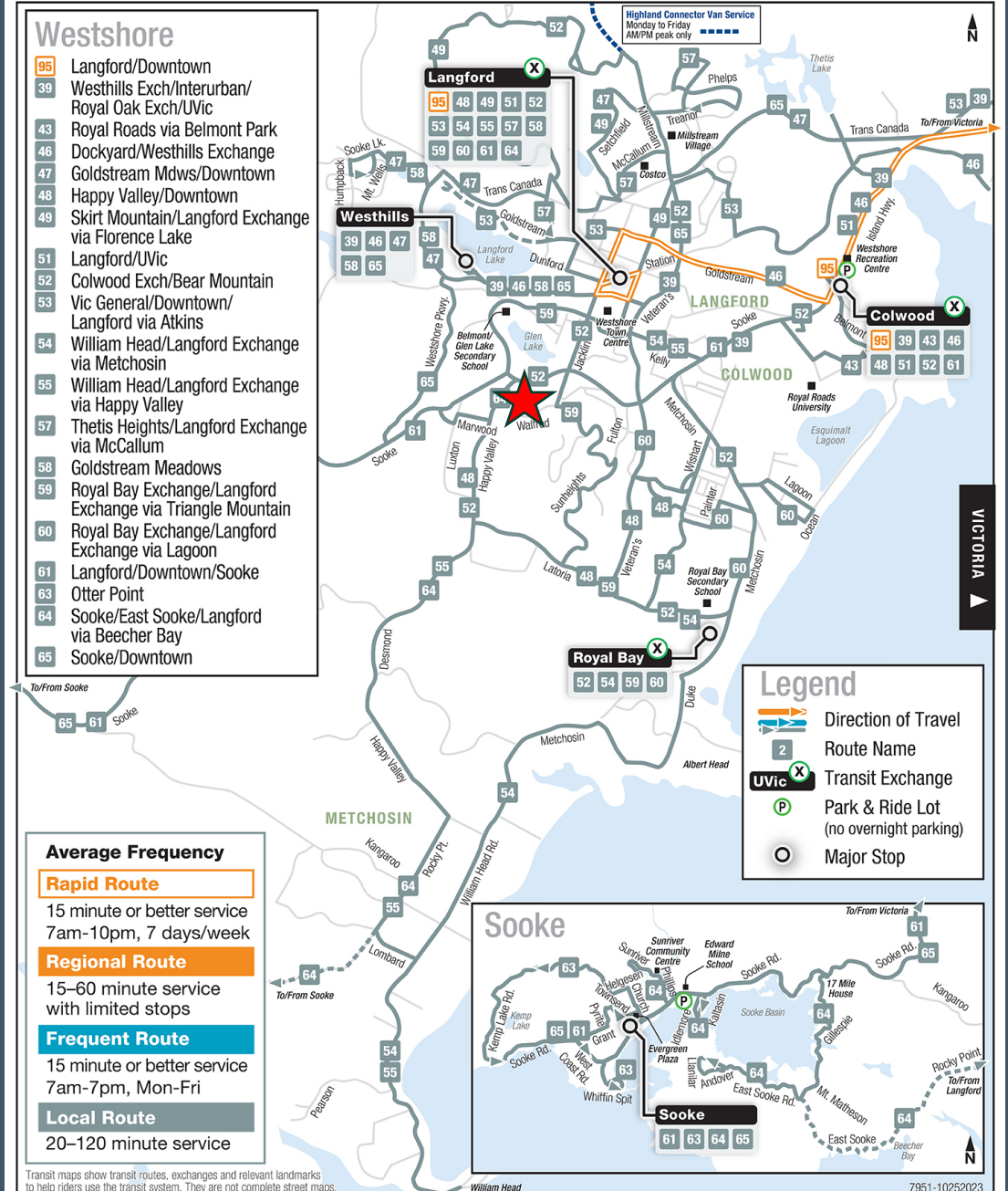
# ACCESS TO TRANSIT

B.C. Transit available on Happy Valley (Routes 52,48 and 64) and Sooke Road (Route 52)



## Regional Map of Westshore

Page 145 of 147





# NEIGHBOURHOOD CONSULTATION

- An orientation held with the neighbours on November 12, 2022. The invitation was sent out to about 45 owners and 10 owners attended.
- Continued communications with neighbours about the project plans. Neighbours are looking forward to the neighbourhood improvements.
- The same development group developed the property next door at Marley Court in 2019.





# 946 ISABELL AVENUE

THANK YOU FOR YOUR TIME