



Sustainable Development Advisory Committee Agenda

Monday, July 8, 2024, 7:00 PM

Council Chambers & Electronic Meeting

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To Participate: Press Star (*) 9 to "raise your hand".

Participants will be unmuted one by one when it is their turn to speak.

When called upon, you will have to press *6 to unmute the phone from your side as well.

We may experience a delay in opening the meeting due to technical difficulties. In the event that the meeting does not start as scheduled please be patient and stay on the line, we will get started as quickly as possible.

Public Dial-In Details are also posted at www.langford.ca

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1.	CALL TO ORDER	
2.	TERRITORIAL ACKNOWLEDGEMENT	
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City of Langford

Sustainable Development Advisory Committee Minutes

June 10, 2024, 7:00 p.m.

Council Chambers & Electronic Meeting

PRESENT:	Councillor L. Szpak - Chair Councillor M. Wagner - Vice-Chair Councillor K. Guiry	B. Gordon - Remote J. Keefer M. McNaughton
ABSENT:	V. Dumitru K. Nentwig	M. Turner
ATTENDING:	M. Baldwin, Director of Development Services K. Balzer, Director of Engineering and Public Works M. Watmough, Director of Legislative and Protective Services	L. Fletcher, Manager of Community Safety and Municipal Enforcement N. Johnston, Legislative Services Administrative Coordinator

Meeting available by teleconference.

1. CALL TO ORDER

The Chair called the meeting to order at 7:00 pm.

2. TERRITORIAL ACKNOWLEDGEMENT

M. McNaughton, Committee Member read the City of Langford's Territorial Acknowledgment.

3. MEETING CONDUCT RULES

M. Watmough, Corporate Officer, read the City of Langford's meeting conduct rules.

4. APPROVAL OF THE AGENDA

MOVED BY: GUIRY

SECONDED: KEEFER

THAT the Committee approve the agenda as presented.

Motion CARRIED.

5. ADOPTION OF THE MINUTES

5.1 Minutes of the Sustainable Development Advisory Committee Meeting - May 13, 2024

MOVED BY: GUIRY
SECONDED: WAGNER

THAT the minutes of the Sustainable Development Advisory Committee meeting held May 13, 2024 be adopted as circulated.

Motion CARRIED.

6. REPORTS

6.1 Application to Rezone 775 Latoria Road from the Rural Residential 2 (RR2) to the Residential Townhouse 1 (RT1) Zone to allow for approximately 33 Townhomes.

M. Baldwin, Director of Development Services provided an overview of the application.

R. Sansom, Applicant provided a presentation to the Committee.

The Chair opened the floor to questions and comments from the Committee. M. Baldwin, Director of Development Services, K. Balzer, Director of Engineering and Public Works, J. Budgen, Biologist from Corvidae Environmental Consulting, Owner, 775 Latoria Holdings, and R. Sansom, Applicant responded.

The Chair opened the floor to questions and comments from the public. M. Baldwin, Director of Development Services, K. Balzer, Director of Engineering and Public Works, J. Budgen, Biologist Corvidae Environmental Consulting, and R. Sansom, Applicant responded.

MOVED BY: MCNAUGHTON
SECONDED: GUIRY

That the Sustainable Development Advisory Committee recommend that Council:

1. Direct Staff to prepare a bylaw to amend the zoning designation of the properties located at 775 Latoria Drive from RR2 to RT1, subject to the following terms and conditions:
 - a. That the applicant provides, **as a bonus for increased density**, the following contributions per dwelling unit, **prior to the issuance of a building permit approval**:
 - i. \$610 towards the Affordable Housing Reserve Fund; and
 - ii. \$3,660 towards the General Amenity Reserve Fund;
 - b. That the applicant, **prior to Bylaw Adoption**, registers a Section 219 covenant in priority of all other charges on title, that agrees to the following:
 - i. That the following will be provided and implemented to Bylaw No. 1000 standards to the satisfaction of the Director of Engineering, prior to the issuance of a building permit:
 1. Full frontage improvements; and
 2. A storm water management plan.

- ii. That the following will be provided and implemented to Bylaw No. 1000 standards to the satisfaction of the Director of Engineering prior to any land alteration:
 - 1. A comprehensive geotechnical plan;
 - 2. A construction parking management plan; and
 - 3. A mitigation plan.
- iii. That a separate covenant be registered prior to the registration of a strata plan for the proposed development agreeing that the garages are to be used for the parking of vehicles and not the storage of items preventing the parking of vehicles therein, in favour of the strata.
- iv. That the project shall be constructed with electric heat pumps, to the satisfaction of the Chief Building Inspector;
- v. That the project shall be constructed to Step 4 of the BC Building Code, to the satisfaction of the Chief Building Inspector;
- vi. That all concrete used on-site will utilize ready-mix concrete that meets or exceeds the weighted average Global Warming Potential targets based on Concrete BC Baseline (average) mix data, and that prior to the issuance of a Building Permit the applicant shall provide a Type III Environmental Product Declaration that is 3rd party verified specifying the total Global Warming Potential value and confirming that the proposed development meets the requirements of Low Carbon Concrete Policy POL-0167-PLAN;
- vii. Acknowledge that the site is in proximity to agricultural uses the South Vancouver Island gun range, and that these uses may create general noise, odour, and other nuisances, and agree that the owner and all future owners assume all risk and annoyance of such nuisances;
- viii. That the lot provides at least 28% open space, of which at least 17.5% is dedicated to the City as Park, and the remainder amount is retained as strata common property, to be protected in a non-disturbance covenant, prior to the issuance of a building permit, to the satisfaction of the Director of Parks, Recreation, and Facilities; and
- ix. That tree protection measures, inclusive of tree protection fencing, outlined within the arborist report prepared by Capital Tree Service Inc. dated October 27, 2023, are implemented prior to commencement of work on site to protect the trees identified for retention in the arborist report throughout the construction period, to the satisfaction of the Director of Development Services;

AND

2. That Council retains the non-disturbance covenant EPP78535 on Urban Rise, but allows the tree removal, re-grading, and re-landscaping of the areas, subject to the work being supervised by the project biologist, to the satisfaction of the Director of Development Services.

AND

3. Direct Staff to include within the bylaw an allowance to utilize General Amenity Fund contributions towards the installation of sidewalk beyond the frontage of 775 Latoria Road, connecting to the crosswalk at Autumn Lane, to the satisfaction of the Director of Engineering.

Motion CARRIED.

Amendment:

MOVED BY: WAGNER

SECONDED: GUIRY

That the main motion be amended with the addition of:

x) The addition of a covenant on title to ensure maintenance of the permeable pavers by the strata

AND

xi) The required maintenance for establishment of the landscaping be extended to two years from one year.

Motion DEFEATED.

6.2 Construction Impact Management Strategy

K. Balzer, Director of Engineering and Public Works provided an overview of the report.

The Chair opened the floor to questions and comments from the Committee. K. Balzer, Director of Engineering and Public Works, L. Fletcher, Manager of Community Safety and Municipal Enforcement responded.

The Chair opened the floor to questions and comments from the public. K. Balzer, Director of Engineering and Public Works responded.

MOVED BY: WAGNER

SECONDED: KEEFER

THAT Committee recommend that Council direct staff to proceed with community engagement with respect to concerns and priorities around the Construction Impact Management Strategy, and report back to Council once complete.

Motion CARRIED.

7. ADJOURNMENT

MOVED BY: MCNAUGHTON

SECONDED: KEEFER

The Chair adjourned the meeting at 9:24 pm.

Motion CARRIED.

Presiding Council Member

Certified Correct - Corporate Officer



City of Langford

Staff Report to Sustainable Development Advisory Committee

DATE: Monday, July 8, 2024

DEPARTMENT: Planning

APPLICATION NO.: Z24-0003

SUBJECT: Bylaw No. 2180 – Application to Rezone 3321 Luxton Road from the Rural Residential 2 (RR2) to Attached Housing (RM2A) to allow the development of approximately 20 townhouse units.

EXECUTIVE SUMMARY:

Michelle Mahovlich of M4 Consulting and Project Management has applied on behalf of John and Jeanine Dodds to rezone 3321 Luxton Road from Rural Residential 2 (RR2) to Attached Housing (RM2A) zone to allow for the development of approximately 20 townhouse units across 5 blocks. The proposal includes road dedication along Luxton, Brown, and Piper Roads.

BACKGROUND:

PREVIOUS APPLICATIONS

There have been no previous planning applications for this property.

Table 1: Site Data

<i>Applicant</i>	Michelle Mahovlich	
<i>Owner</i>	John Dodds, Jeanine Dodds	
<i>Civic Address</i>	3321 Luxton Road	
<i>Legal Description</i>	LOT 26, BLOCK 3, SECTION 87, METCHOSIN DISTRICT, PLAN 1718, PID 007-069-332	
<i>Size of Property</i>	3,936 m ² (0.973 ac)	
<i>DP Areas</i>	Riparian	
<i>Zoning</i>	Existing: RR2	Proposed: RM2A
<i>OCP Designation</i>	Existing: Neighbourhood	Proposed: Neighbourhood

SITE AND SURROUNDING AREA

The subject property is located south of Sooke Road, on the corner of Luxton Road and Brown Road. The parcel is flat in nature and contains an established single-family dwelling, multiple accessory structures, as well as a few small trees throughout the site. An arborist report has been submitted for the property and will be discussed later in this report. It should be noted that the subject property is not located within, or adjacent to, the Agricultural Land Reserve (ALR), although the property to the south is currently used for small farm operation, and more farmland within the ALR is located approximately 300 meters south of the subject site. Although the majority of the properties to the north are larger estate lots, the area has experienced densification to the east and south in the last decade, which is evident in Figure 1 below.

To the west of the subject site, Pacific Ridge Business Centre is under development which will support small scale industrial activity and is anticipated to offer services as well as potential employment opportunities. Chidlow Park playground and Luxton Baseball Park are located within 100m of the subject site. The Luxton Fairgrounds are also located approximately 100m away from the site and offer a variety of family-oriented events throughout the year. The Galloping Goose Regional Trail is located approximately 150 meters east of the site, with an access point at Marwood Avenue. Happy Valley Elementary School is located approximately 300 meters away from the site. School District No. 62 has been made aware of this application such that they can consider the proposed increase in density in this area as part of their long-range facility planning.

The proposed development is also located within 800 meters of a Controlled Access Highway under the jurisdiction of the Ministry of Transportation and Infrastructure (MoTI) and is therefore subject to their review and approval. During the referral stage of the application, MoTI has not identified any concerns with the proposal and indicated that they have no objection to the proposal in principle.

Figure 1: Subject Property and Surrounding Neighbourhood

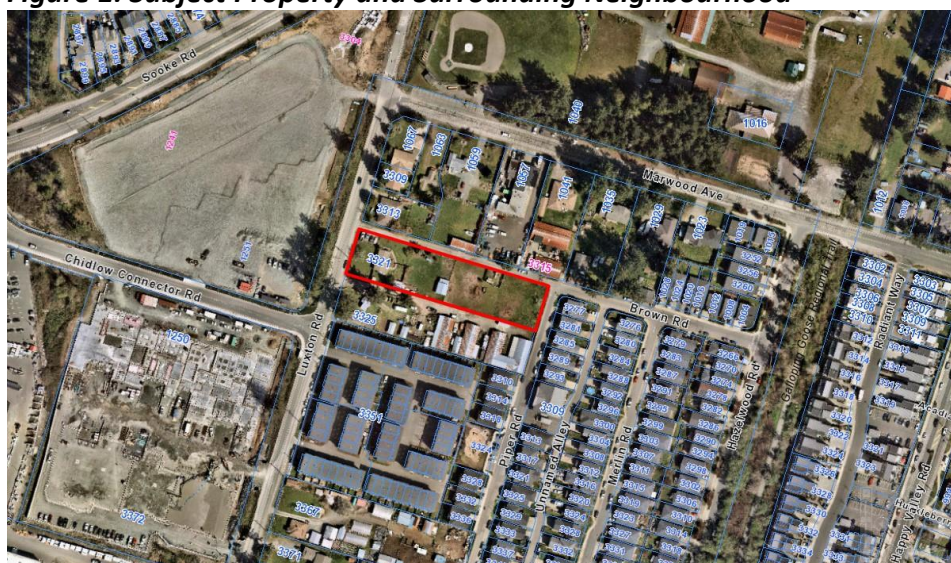


Table 2: Surrounding Land Uses

	Zoning	Use
<i>North</i>	One- and Two-Family Residential (R2) Rural Residential 2(RR2) Heavy Industrial (M3)	Single-family residential, light industrial operation under a Temporary Use Permit
<i>East</i>	Comprehensive Development -Hazelwood/Luxton (CD14)	Small lot single-family residential
<i>South</i>	Rural Residential 2 (RR2) Residential Small Lot (RS1)	Residential & small farming operation, small lot single-family residential
<i>West</i>	Business Park 2A – Sooke Road West (BP2A)	Industrial buildings under construction

COMMENTARY:

DEVELOPMENT PROPOSAL

As noted above, the applicant is proposing to rezone the subject property from RR2 (Rural Residential 2) to RM2A (Attached Housing) to allow for approximately 20 townhouse units within five identical blocks. The applicant has indicated that they chose RM2A zone to remain consistent with the zoning already present in the area (development to the south). The existing established single-family dwelling and accessory structures are not proposed to be retained as part of the proposal. The proposed site plan can be seen below as Figure 2.

Figure 2: Proposed Site Plan



As per the site plan, access for each townhouse unit will be off of Brown Road. Each proposed townhouse block is comprised of four units and is three storeys in height. The ground level features single-wide double car garages and two storeys of living space above, large enough to accommodate 3-bedroom layouts, making them suitable for families with children and other larger household types.

Each unit contains three parking spaces, consisting of two tandem spaces inside the garage, and another space in the driveway. This exceeds the two parking spaces required by the Zoning Bylaw No. 300. The applicant is also proposing a total of 7 visitor parking spaces along Piper Road, which exceeds the bylaw minimum of 4 visitor spaces. To remain consistent with townhouse developments that have been recently rezoned, Council may wish to require that garages are to be used for parking of vehicles and not the storage of items in a manner that would prevent utilization of the garage space for parking purposes. This requirement should be secured through a Section 219 Covenant prior to Bylaw Adoption, in favour of the strata, so that they are responsible for enforcing the covenant instead of the City.

In a similar manner, Council may wish to secure a requirement of mandating the use of heat pumps for heating and cooling, to remain consistent with recent rezoning applications.

The applicant has submitted a conceptual rendering of their proposal to better articulate the design and site layout, as it will be seen from the northeast corner of Brown Road, across the road from the proposed development (Figure 3).

Figure 3: Rendering of the Proposed Townhouse Development as seen from Brown Road



The buildings have a West-Coast traditional style. The primary materials proposed are Hardie plank, Hardie board and batten, and Hardie shingles in neutral monochromatic tones. The final design, including finishing materials selection, will be secured through the Form and Character Development Permit.

Each unit contains approximately 44m² to 61m² of ground level private open space in a fenced rear yard for the private use of the residents of each townhome. 11.28% of common amenity area is proposed in the western portion of the subject site, abutting Luxton Road, which exceeds the 5% open space required by the Design Guidelines for a townhouse development. The proposed common open space does not have any infrastructure for the use of the strata residents but does provide some robust landscaping for their enjoyment. This also adds to the beautification along the relatively busy municipal road. The applicant will also be required to install a 1.8m privacy fence along all property lines that do not face the highway to screen the development from adjacent neighbouring properties. For the lot lines abutting a highway, privacy fencing is not to exceed 1.2m and is required to provide less than complete visual screening. Despite this, fences abutting a highway that are at least 1.8m to the rear building line are permitted to exceed 1.2m but may not exceed 1.8m. Given this, the fence along Luxton Avenue will not exceed 1.2m, making the landscaping visible from the street, and the rear yards and lot line abutting Piper Road would be properly screened with a 1.8m solid fence providing privacy to the residents.

Table 3: Proposal Data

	Permitted by RR2 (Current Zoning)	Permitted by RM2A (Proposed Zoning)	Proposed by Rezoning Application
<i>Height</i>	10.5 m	3 storeys	3 storeys
<i>Site Coverage</i>		45%	40.13%
<i>Front Yard Setback (Luxton)</i>	7.5m	5.5m	6.01m
<i>Interior Side Yard Setback</i>	3m	7.5m or 3m	7.5m
<i>Exterior Side Yard Setback (Brown)</i>	3m (5.5m for garages)	5.5m	5.50m
<i>Rear Yard Setback (Piper)</i>	10m	7.5m or 3m	5.95m
<i>Vehicle Parking Requirement</i>	2 parking spaces per unit	2 parking spaces per unit (40 total) + 4 visitor stalls	3 parking spaces per dwelling unit (60 total) + 7 visitor stalls
<i>Bicycle Parking Requirement</i>	N/A	1 per dwelling unit	1 per dwelling unit

Variations

As indicated in the Table 3 above, the applicant is not seeking any variations for their proposal at this time. However, it must be noted that variations from either the front (Luxton Road), exterior side (Brown Road), or rear (Piper Road) property line may be required to accommodate installation of pad mounted transformer(s) required to service the subject site. Currently, the final location of the infrastructure is unknown as the location is typically finalized at the detailed servicing design drawings review. Depending on the future direction of BC Hydro, the transformers may be required to be located within the Road Right of Way. In this case, minor adjustments to the road dedication may be required; the

typical design in this scenario includes notch outs to accommodate the transformers within the road allowance. Although installation of servicing and utility infrastructure is not subject to setback regulations, the potential change to the lot line may result in non-compliance with the setback regulations for the townhome blocks. If Council has no objection, they may wish to delegate the authority to grant a setback variance in this particular scenario to the Director of Development Services in the Form and Character Development Permit. Council may wish to note that the design is expected to remain consistent with what is shown, and a variance would only be required in the case that pad mounted transformers are not permitted to be located on the private property within a Statutory Right of Way.

Arborist Report and Landscaping

As noted previously, the applicant has provided an arborist report pertaining to the property, and it is attached to the report for reference. The arborist assessed all on-site trees as well as on the properties immediately abutting the subject site for trees that could potentially be impacted by the proposal. The report identifies that 6 small and medium diameter trees on the subject property will need to be removed to accommodate this proposal, namely two fruit trees, two spruce trees, one maple, and one small cypress.

Council may wish to note that the landscaping concept plan demonstrates 10 trees to be planted on site, in addition to some ornamental shrubs. Among the proposed species are Bigleaf maple, Starlight dogwood, Douglas fir, and Scarlet Oak. The exact species and location will be confirmed at the time of Development Permit, but the number of trees planted is expected to remain consistent with the number provided within the landscaping concept plan.

The Parks Department has indicated that cash-in-lieu of boulevard trees would be required for Luxton, Brown, and Piper Roads. As the proposal is showing some extensive landscaping on private property along Luxton Road, as well as trees along Brown and Piper Roads, Parks and Engineering Departments did not deem it appropriate to have overlapping irrigation systems and a Statutory Right of Way for municipal trees when a similar outcome can be achieved through a single landscaping design and maintenance arrangement. Council should note that the landscaping plan will be secured through the Form and Character Development Permit, which will provide assurance that trees will be maintained in accordance with the plan in perpetuity, as any changes to the landscaping plan would be subject to the approval of the Director of Development Services through a Development Permit amendment.

MULTI-MODAL NETWORK

FRONTAGE IMPROVEMENTS

The applicant is proposing to dedicate road along Luxton Road, Brown Road, and Piper Road in the amounts of 2.25m, 3.5m, and 3.0m respectively. The Director of Engineering has reviewed and approved the preliminary frontage drawing for this proposal. The Director of Engineering has noted that full

frontage improvements to Bylaw No. 1000 standards will be required along Luxton, Brown, and Piper Roads, including but not limited to:

Luxton Road - 2.25 meters of road dedication is required, which is to facilitate a 1.8m wide concrete sidewalk and scallop parking. The existing bike lane is to be maintained.

Brown Road - 3.5 meters of road dedication to create a two-way road with no street parking opportunity. The south side of Brown Road is to have streetlights with the north side of Brown Road to provide a sidewalk with future development.

Piper Road - 3.0 meters of road dedication is required to facilitate a 1.8m concrete sidewalk and streetlights where viable. Piper Road is to remain one way with vehicles travelling northbound.

Access to the site is crucial for the future viability of the development. Currently, the segment of Brown Road immediately north of the subject site functions as a fire lane, with a gate restricting vehicular traffic near the intersection of Brown and Piper Road. The proposed 3.5 meter road dedication along Brown Road aims to create a R18 road cross-section seen to the east of the site. This will allow through traffic and provide access for development residents. To facilitate this improvement, the Director of Engineering requires the developer to provide interim road paving with a crown and water control on the north side of Brown Road. This requirement will be secured through a Section 219 Covenant prior to Bylaw Adoption. Additionally, the Parks Department has requested a Section 219 Covenant to ensure the owner maintains boulevard landscaping from the back of the sidewalk.

PEDESTRIAN, CYCLING AND MOTORIST NETWORK

As mentioned, the development will include significant improvements to Brown Road, which will open this previously unavailable segment of the municipal road to through traffic. Given this, although the applicant is proposing additional density, it is not expected to negatively impact the existing road infrastructure in the neighbourhood, but rather will help alleviate some of the vehicular strain on existing road infrastructure by providing another through access to Luxton Road. The Director of Engineering has noted that no Traffic Impact Assessment is necessary for the proposed development.

Bike lanes exist on both sides of Luxton Road, Happy Valley Road, and Sooke Road, providing bicycle access to the downtown core and beyond. The Galloping Goose Trail is also within 150 meters from the subject site, offering cycling connections throughout the Greater Victoria region.

There are a few bus stops within a walking distance of a development site, mainly two bus stops along Happy Valley Road serviced by routes 48, 52, 55, and 64, as well as bus stops at the intersection of Sooke Road and Chidlow Connector Road and the intersection of Sooke Road and Penwood Road, both serviced by route 61. Route 48 offers service to and from downtown Victoria during peak commuting hours. Route 52 runs throughout the day to provide service between the Colwood Exchange and Bear Mountain. Route 55 offers connection to Langford Exchange which in turn offers transfers to many other routes, including Blink Rapid Line 95, a key commuting service into downtown Victoria. Route 64 travels from Langford

Exchange to Sooke Town Centre via Happy Valley Road. Route 61 operates in an east-west direction between the District of Sooke and the Victoria Downtown Core, primarily travelling along Sooke Road.

Figure 4: Ortho Map Showing Bike Lanes (purple lines), Sidewalks (pink lines), Trails (orange lines), and Bus Stops (blue icons):



INFRASTRUCTURE

STORMWATER MANAGEMENT

The applicant will be required to provide a stormwater management plan to the satisfaction of the Director of Engineering prior to the issuance of a building permit. As part of their rezoning application, the applicant has submitted a stormwater technical memo prepared by an Engineer outlining how they plan to adequately manage stormwater on-site. This memo has been reviewed and approved by the Director of Engineering.

SEWERS

A sewer main exists along Brown Road and a connection from the townhomes to this low-pressure sewer would be required. Any improvements, extensions, or modifications needed to the sewer main within the municipal road right-of-way will be completed by West Shore Environmental Services at the applicant's expense. West Shore Environmental Services has indicated that the development will be required to provide a future gravity connection at Luxton Road sewer once it becomes available.

POTENTIAL NUISANCES

As has been past practice in this neighbourhood, Council may wish to require the applicant to provide a Section 219 Covenant registered on title prior to Bylaw Adoption that notifies future landowners of the variety of agricultural uses and the South Vancouver Island Rangers (gun/shooting range) that is located

within close proximity of the site, that these pre-existing uses may result in general nuisances, and that future landowners understand and accept the potential disruption to their residential occupancy of the site.

CONSTRUCTION IMPACT MITIGATION

Council may wish to require a Construction Parking and Deliveries Management Plan as well as an Erosion and Sediment Control Plan as a condition of rezoning and require that it will be provided to the satisfaction of the Director of Engineering prior to any land alteration. Additionally, as per Bylaw 1000, Section 2.5, a Mitigation Plan is required prior to land alteration to the satisfaction of the Director of Engineering (this is an interim measure for all developments, until the Good Neighbour Policy may be adopted). A Mitigation Plan is required where there are reasonable grounds to anticipate any discharge of contaminants, pollutants, silts, airborne particulates (dust) or materials (toxic or natural) to watercourses, municipal ditches and sewage systems, public or private lands, waters or the atmosphere. The construction impact mitigation measures should be secured within a covenant, prior to Bylaw Adoption.

Neighbourhood Consultation

During the week of April 30th, 2024, Ash Mountain Construction mailed out an information letter to the properties within a 100m radius of the project site. The information letter included a conceptual rendering, floor plans, and landscaping renderings of the proposed townhouse development. The letter also included contact information and encouraged the residents to contact the applicant by email, mail, or phone with their questions, comments, or concerns.

COUNCIL POLICY

OFFICIAL COMMUNITY PLAN

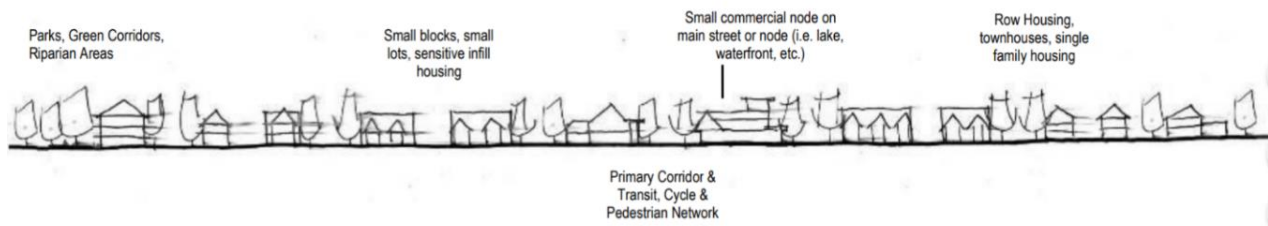
The Official Community Plan (OCP) Bylaw No. 1200 designated the subject properties as “Neighbourhood”, which is defined by the following text:

Existing settled areas throughout the community predominantly located on the valley floor.

- *Predominantly residential precinct that supports a range of low and medium density housing choices including secondary suites*
- *This area allows for residential and mixed-use commercial intensification of streets that connect centres and/or are serviced by transit*
- *Schools, community facilities and other institutional uses are permitted throughout the area*
- *Retail serving local residents is encouraged along transportation corridors*
- *Home-based businesses, live-work housing is encouraged*
- *Parks, open spaces and recreational facilities are integrated throughout the area*

- This area allows for Neighbourhood Centres to emerge in the form of medium density mixed-use nodes at key intersections.

A Concept for Neighbourhood Areas



Policies of the Neighborhood OCP designation support clustered densification in established areas as well as the diversification of housing stock through the incorporation of housing such as coach housing, row housing, live/work units and townhouses. The proposal is consistent with the OCP’s “Neighbourhood” designation in that it increases density in an existing developed area. Policy 3.9.3 in the OCP presents “16 units per acre” as a guide for residential density for infill development in areas designated as “Neighbourhood”. The proposed development represents a density of approximately 24 units per acre, which exceeds this recommendation. Despite this, the density modifier in the Neighbourhood Designation can be considered as an average of the designation as a whole and that given the location and composition of the neighbourhood, Council may wish to explore the higher density proposed by the applicant for the subject property.

SOUTH LANGFORD NEIGHBOURHOOD PLAN

The South Langford Neighbourhood Plan (SLNP) designates 3321 Luxton Road as Country Residential. This designation is described as the following:

Country Residential – applies to that area adjacent to Walfred Road, south of Cuaulta Crescent, and that area bounded by Luxton, Marwood, Englewood and Hazelwood roads. Subject to the provisions of sewer services, water, a road network and emergency access, the preservation of designated sensitive ecosystems, areas of steep slopes and the provision of a satisfactory interface fire hazard plan and archeological impact assessment, a maximum density of 1 lot per 1 acre will be applicable. Clustering of density using density lot averaging may be considered by Council to minimize impact in this area.

SLNP further describes the area bound by Luxton, Brown, Hazelwood, and Englewood as a location ideally suited for a neo-traditional road network pattern consisting of roads and rear lanes. Although the current proposal does not necessarily look identical to what is depicted in the Design Guidelines, densification of the area is generally supported by the SLNP. Where previously a smaller lot single-family neighbourhood subdivision was deemed appropriate, townhousing development may be deemed to be feasible as it will diversify the housing stock and provide a more affordable housing option in the area.

Council may also wish to note that South Langford Neighbourhood Plan precedes the City's Official Community Plan, and that the SLNP was retained within the Design Guidelines as a reference. Council may wish to note that zoning amendments are required to comply with the OCP density objectives but is not required to comply with the design guidelines, including the SLNP.

DEVELOPMENT PERMIT AREAS

Approximately 920m² of the western portion of the site is located within the Riparian Development Permit Area, which is associated with Fire Hall Creek on the west side of Luxton Road. The applicant will be required to obtain a Development Permit in this regard. Given the proposed density, a Form and Character Development Permit will also be required and will ensure that the proposal complies with the standards prescribed by Zoning Bylaw No. 300 as well as the Multi-Family Design Guidelines.

LOW CARBON CONCRETE

In accordance with Council's Low Carbon Concrete Policy POL-0167-PLAN, Council may wish to require the applicant to utilize ready-mix concrete that meets or exceeds the weighted average Global Warming Potential targets based on Concrete BC Baseline (average) mix data for the construction of the proposed development.

FINANCIAL IMPLICATIONS:

Rezoning the subject property to permit higher density of development will increase the assessed value of lands and eventually will increase municipal revenue due to the number of units created. As the developer is responsible to complete all frontage improvements, the direct capital costs to the City associated with this development will be negligible. A summary of Amenity Contributions and Development Cost Charges that the developer will be expected to pay, is outlined in Tables 4 and 5 below.

COUNCIL'S AMENITY CONTRIBUTION POLICY

The amenity contributions that apply as per Council's current Affordable Housing and Amenity Contribution Policy are summarized in Table 4 below, based the current floor plans and total density of 20 residential units.

Table 4 – Amenity Contributions per Council Policy

Amenity Item	Per unit	Total (based on 20 units)
<i>General Amenity Reserve Fund</i>	\$3,660	\$73,200
<i>Affordable Housing Reserve Fund</i>	\$610	\$12,200
TOTAL POLICY CONTRIBUTIONS		\$85,400

Table 5 - Development Cost Charges

Development Cost Charge	Per Unit Contribution	Total (based on 20 units)
<i>Roads</i>	\$3,865	\$77,300
<i>Storm Drainage</i>	\$1,028	\$20,560
<i>Park Improvement</i>	\$1,948	\$38,960
<i>Park Acquisition</i>	\$130	\$2,600
<i>ISIF</i>	\$371.25	\$7,425
Subtotal (DCC's to Langford)		\$146,845
<i>CRD Water</i>	\$2,557	\$51,140
<i>School Site Acquisition</i>	\$800	\$16,000
TOTAL DCC's (estimated)		\$213,985

LEGAL IMPLICATIONS:

Should Council choose to proceed with this proposal, Bylaw No. 2180, will be scheduled for consideration of first, second, and third readings. As per recent changes to the *Local Government Act*, a Public Hearing is not permitted.

The amenity contributions specified in Table 4 above are incorporated into Bylaw No. 2180 , and will be payable at the time of building permit along with the current Development Cost Charges specified in the various DCC Bylaws.

Council's other conditions of approval would be registered in a Section 219 Covenant in priority of all other charges on title prior to consideration of Bylaw Adoption.

OPTIONS:**Option 1**

THAT the Sustainable Development Advisory Committee recommend that Council:

1. Proceed with consideration of First, Second, and Third Reading of Bylaw No. 2180 to amend the zoning designation of the properties located at 3321 Luxton Road from RR2 to RM2A, after the notification process has been completed, and subject to the following terms and conditions:
 - a. That the applicant provides, **as a bonus for increased density**, the following contributions per dwelling unit, **prior to the issuance of a building permit**:

- i. \$610 towards the Affordable Housing Reserve Fund; and
 - ii. \$3,660 towards the General Amenity Reserve Fund;
- b. That the applicant registers, **prior to Bylaw Adoption**, a road dedication plan dedicating 2.25m of land along Luxton Road, 3.5m along Brown Road, and 3.0m along Piper Road to the satisfaction of the Director of Engineering;
- c. That the applicant, **prior to Bylaw Adoption**, registers a Section 219 covenant in priority of all other charges on title, that agrees to the following:
 - i. That the following will be provided and implemented to Bylaw No. 1000 standards to the satisfaction of the Director of Engineering prior to the issuance of a building permit:
 - 1. Full frontage improvements; and
 - 2. A storm water management plan.
 - ii. That the following will be provided and implemented to Bylaw No. 1000 standards to the satisfaction of the Director of Engineering prior to any land alteration:
 - 1. A mitigation plan;
 - 2. A construction parking and deliveries management plan; and
 - 3. An erosion and sediment control plan.
 - iii. That interim road paving with crown and water control is completed by the developer on the north side of Brown Road, to the satisfaction of the Director of Engineering.
 - iv. That electric heat pumps are installed in the townhouse units.
 - v. That all concrete used on-site will utilize ready-mix concrete that meets or exceeds the weighted average Global Warming Potential targets based on Concrete BC Baseline (average) mix data, and that prior to the issuance of a Building Permit the applicant shall provide a Type III Environmental Product Declaration that is 3rd party verified specifying the total Global Warming Potential value and confirming that the proposed development meets the requirements of Low Carbon Concrete Policy POL-0167-PLAN;
 - vi. That a separate covenant is registered, prior to issuance of a building permit, that agrees to the following:
 - 1. That the owner agrees that the garages are to be used for the parking of vehicles and not the storage of items preventing the parking of vehicles therein, in favour of the strata;
 - 2. That the strata be responsible for maintaining the boulevard landscaping from the back of the sidewalk with the exception of boulevard trees; and
 - 3. That the owner acknowledges that the site is located in proximity to agricultural uses and the South Vancouver Island Gun Range, and that these

uses may create general noise, odours, and other nuisances, and agree that the owner and all future owners assume all risk and annoyance of such nuisances.

AND

- 2. If required to accommodate the installation of the BC Hydro infrastructure, delegate the authority to issue the required setback variance within the Form and Character Development Permit, provided that the proposal remains in substantial accordance with what has been demonstrated on the site plan attached to this report.

OR Option 2

THAT the Sustainable Development Advisory Committee recommend that Council take no action with respect to this application to rezone 3321 Luxton Road under Bylaw No. 2180 until such time as the following items are addressed and reviewed by the Sustainable Development Advisory Committee:

- a. _____;
- b. _____;
- c. _____;

SUBMITTED BY: Anastasiya Mysak, Planner I

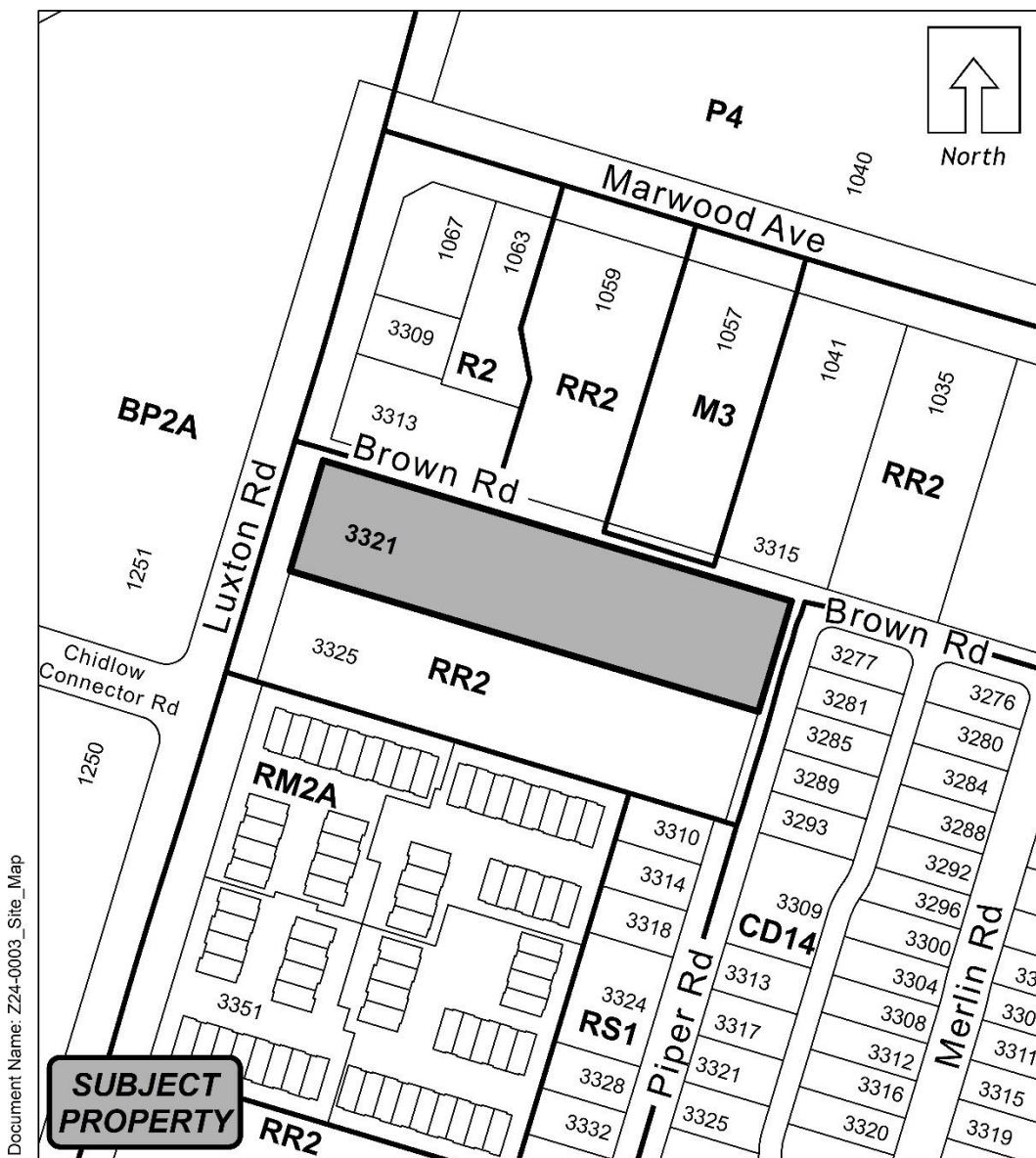
- Concurrence:** Matthew Baldwin, RPP, MCIP, Director of Development Services
- Concurrence:** Leah Stohmann, RPP, MCIP Director of Community Planning and Climate Change
- Concurrence:** Donna Petrie, Senior Manager of Communications & Economic Development
- Concurrence:** Yari Nielsen, Director of Parks, Recreation and Facilities
- Concurrence:** Katelyn Balzer, P.Eng., Director of Engineering and Public Works
- Concurrence:** Michael Dillabaugh, CPA, CA, Director of Finance
- Concurrence:** Marie Watmough, Director of Legislative and Protective Services
- Concurrence:** Braden Hutchins, Deputy Chief Administrative Officer
- Concurrence:** Darren Kiedyk, Chief Administrative Officer

Attachment(s):

- Attachment 1: Proposed Site Plan (3321 Luxton Road)
- Attachment 2: Proposed Landscaping Plan (3321 Luxton Road)
- Attachment 3: Arborist Report (3321 Luxton Road)
- Attachment 4: Bylaw No. 2180

Appendix A – Site Map

REZONING BYLAW AMENDMENT
(Z24-0003)
3321 Luxton Rd



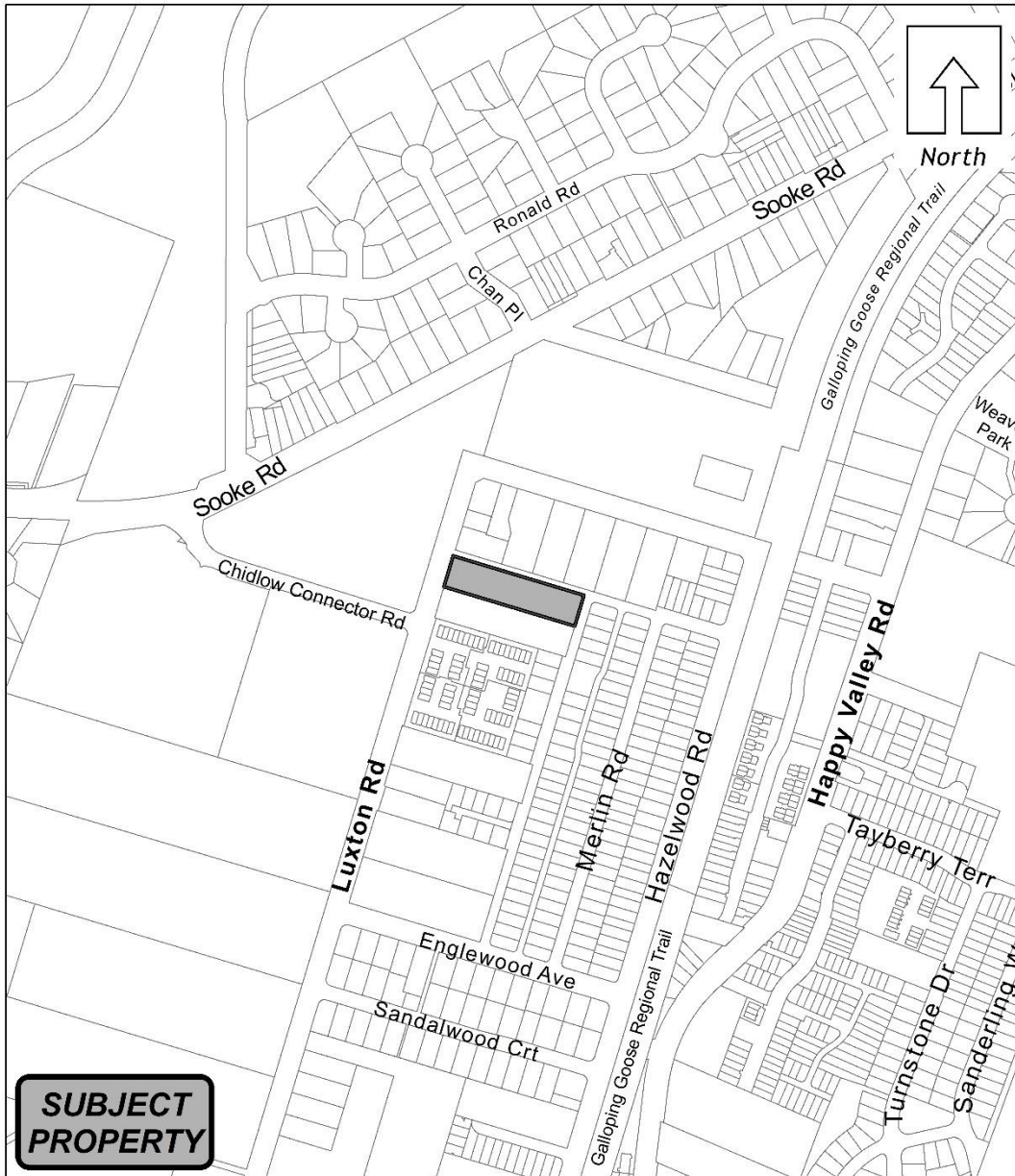
Document Name: Z24-0003_Site_Map

Scale: N.T.S.

Last Revised: 2024-04-11

Appendix B – Location Map

**REZONING BYLAW AMENDMENT
(Z24-0003)
3321 Luxton Rd**

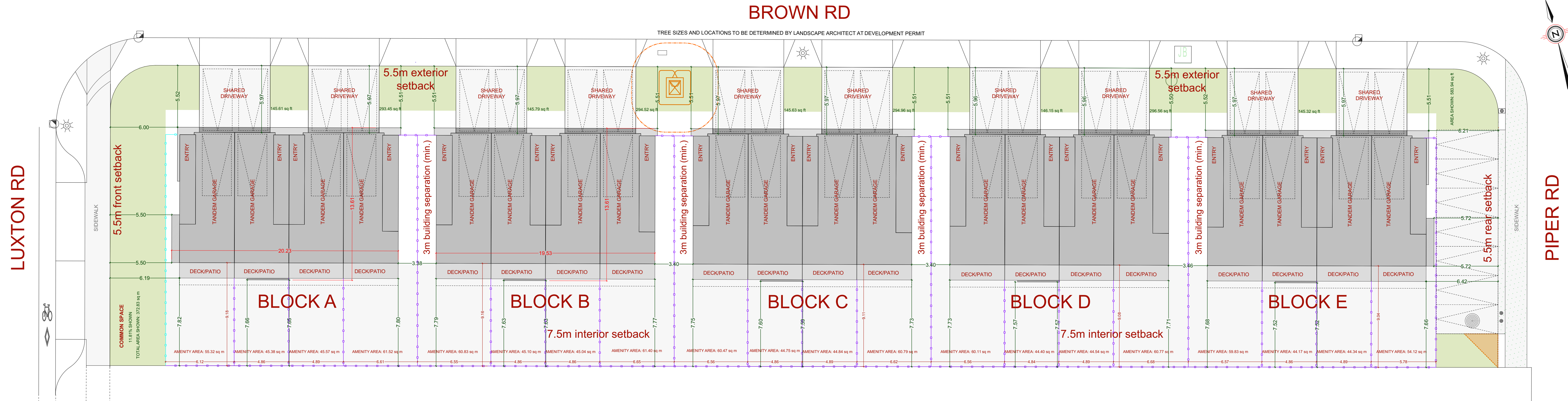


Document Name: Z24-0003_Location_Map

Scale: N.T.S.

Last Revised: 2024-04-11

FOR REZONING APPLICATION / DISCUSSION - NOT FOR CONSTRUCTION



SITE PLAN
SCALE: 1:175

PROJECT DATA TABLE	
Address	3321 Luxton Road
Lot Size	3,304.58 m ²
Zoning	RMZA
Setbacks	PROPOSED ALLOWED
Front setback (Luxton)	5.50m 5.50m
Rear setback (Piper)	5.72m 3.00m
Exterior side setback (Brown)	5.50m 5.50m
Garage setback (Brown)	5.96m 5.50m
Interior side setback (South)	7.52m 7.50m
Height	(3 storeys) (3 storeys)
Floor Area	
Total Lower Floor Areas	189,76m ² (2,042,60ft ²)
Total Upper Floor Areas	1,192,54m ² (12,836,44ft ²)
Total Main Floor Areas	1,085,61m ² (11,685,36ft ²)
Total Garage Areas	936,83m ² (10,084,00ft ²)
Gross floor area	2,467,91 m ² (26,564,36ft ²)
Floor Area Ratio	0.747 0.75
Lot coverage	2,478.44m ²
Lot Coverage	40.13% 1,326.10m ²
Off-Street Parking	40 spaces 45.00% 1,487.06m ²
Required Number of Off-Street Parking Spaces	40 spaces 4 spaces Visitor Parking
Amenity Space	
Private Amenity Area	44.17m ² - 61.52m ² 10m ² (min.)
Public Amenity Area	11.28% 372.83m ² 5% 165.23m ²

NAFS REQUIREMENTS:
Performance Grade of 30
Water Test Pressure of 260 Pa

GENERAL NOTES
ALL MATERIALS AND CONSTRUCTION METHODS TO CONFORM TO THE CURRENT EDITION OF THE BRITISH COLUMBIA BUILDING CODE AS WELL AS ANY LOCAL BUILDING CODES OR BYLAWS WHICH MAY TAKE PRECEDENCE.
ALL MEASUREMENTS MUST BE VERIFIED ON SITE BY BUILDER PRIOR TO CONSTRUCTION, AND ANY DISCREPANCIES REPORTED TO THE DESIGNER.
DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE
-SMOKE DETECTORS SHALL BE PROVIDED ON EVERY FLOOR

SITE PLAN
ALL LAYOUTS SHOULD BE CONFIRMED BY A REGISTERED B.C. LAND SURVEYOR. ALL SETBACKS SHALL BE CONFIRMED BY THE OWNER/BUILDER. ALL GRADE ELEVATIONS ARE THE RESPONSIBILITY OF THE OWNER/BUILDER AND ANY MODIFICATIONS ARE TO BE MADE ON SITE.
CONFORMITY OF THESE PLANS TO THE ACTUAL SITE IS THE RESPONSIBILITY OF THE OWNER/BUILDER.
CONCRETE AND FOUNDATIONS
ALL CONCRETE FOOTINGS TO HAVE SOLID BEARING ON COMPACTED, UNDISTURBED INORGANIC SOIL TO A SUITABLE DEPTH BELOW FROST PENETRATION.

IF SOFTER CONDITIONS APPLY, THE SOLID BEARING CAPACITY AND SIZE OF FOOTINGS ARE TO BE DESIGNED BY A QUALIFIED ENGINEER.
GARAGE & CARPORT FLOORS AND EXTERIOR STEPS SHALL NOT BE LESS THAN 32 MPA
FOUNDATION CONCRETE SHALL HAVE MIN. COMPRESSIVE STRENGTH OF 2900 psi (20MPa) AT 28 DAYS, MIXED, PLACED AND TESTED IN ACCORDANCE WITH CAN3-A438.
ALL WALLS ARE 8" CONCRETE UNLESS OTHERWISE NOTED.
ALL GRADES ARE ESTIMATED ONLY AND SHALL BE ADJUSTED ON SITE.
ALL WOOD IN CONTACT WITH CONCRETE SHALL BE TREATED OR SEPARATED BY A MOISTURE RESISTANT GASKET MATERIAL.

LUMBER, FRAMING AND BEAMS
BUILDING FRAMES TO BE ANCHORED TO FOUNDATION BY FASTENING SILL PLATE TO FOUNDATION WITH NOT LESS THAN 12.7mm DIAM ANCHOR BOLTS AT NOT MORE THAN 2.4M O.C.
ALL ENGINEERED BEAMS TO BE SIZED BY SUPPLIER.
ALL SPANS SHALL CONFORM TO THE TABLES SET OUT IN "THE SPAN BOOK" AND THE NATIONAL BUILDING CODE OF CANADA AND VERIFICATIONS OF ALL SPANS IS THE RESPONSIBILITY OF THE OWNER/BUILDER.

TRUSSES
TRUSSES AND LAYOUT ARE TO BE ENGINEERED AND INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS, INCLUDING ALL BRACING.
ROOFING
ALL ROOFING SHALL BE APPLIED TO MANUFACTURER'S SPECIFICATION AND SHALL INCLUDE EAVE PROTECTION FROM ICE DAMS AND SNOW BUILD UP.
PLUMBING & ELECTRICAL
ANY ELECTRICAL SHOWN ON PLANS IS TO SERVE AS A GUIDE ONLY AND MUST BE INSTALLED BY A QUALIFIED PERSONNEL.

FLASHING
ALL EXPOSED OPENINGS SHALL BE PROVIDED WITH ADEQUATE FLASHING. ALL ROOFING SHALL INCORPORATE STEP FLASHING. ALL PENETRATIONS THROUGH ROOF SHALL INCLUDE APPROPRIATE FLASHING.
DOORS - ROUGH OPENING SIZES
FRAME HEIGHT 83" FOR EXTERIOR DOORS AND 82.5" FOR INTERIOR DOORS. FRAME OPENING 1 1/4" WIDER THAN BIFOLD DOORS AND FRAME HEIGHT 81.5".
MISC.
CARBON MONOXIDE ALARMS TO BE HARDWIRED AND WITHIN 5M OF EACH BEDROOM IN EVERY SUITE AND INTERCONNECTED TO ALL FLOORS. CARBON MONOXIDE ALARMS TO CONFORM TO CSA 6.19

NEITHER JAVADESIGNS INC. NOR THE DESIGNER ACCEPT RESPONSIBILITY FOR THE FOLLOWING:
-INFORMATION PROVIDED ON EXISTING BUILDINGS OR SITE.
-CONFORMITY OF PLANS TO SITE.
-ERRORS AND OMISSIONS
-ANY HOUSE BUILT FROM THESE PLANS

CUSTOMER: **ASH MOUNTAIN CONSTRUCTION**
ADDRESS: **3321 LUXTON RD., LANGFORD BC**

DRAWING NAME: **SITE PLAN AND PROJECT DATA BOX**
DRAWING SCALE: **SEE DRAWINGS**

ISSUE DATE: **MAY 29, 2024**
DRAWN BY: **NS**
CHECKED BY: **KL**

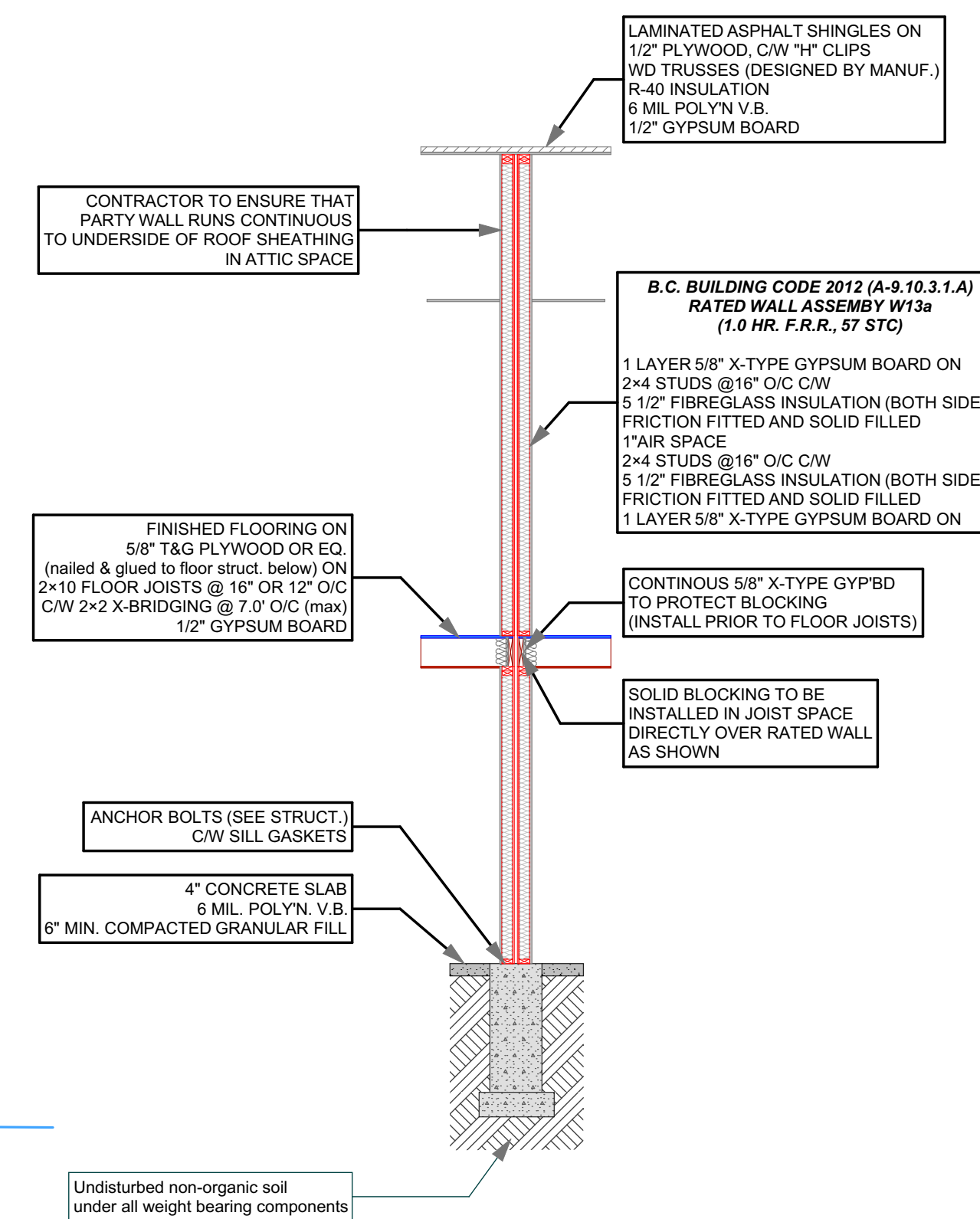
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SHEET NUMBER
A1

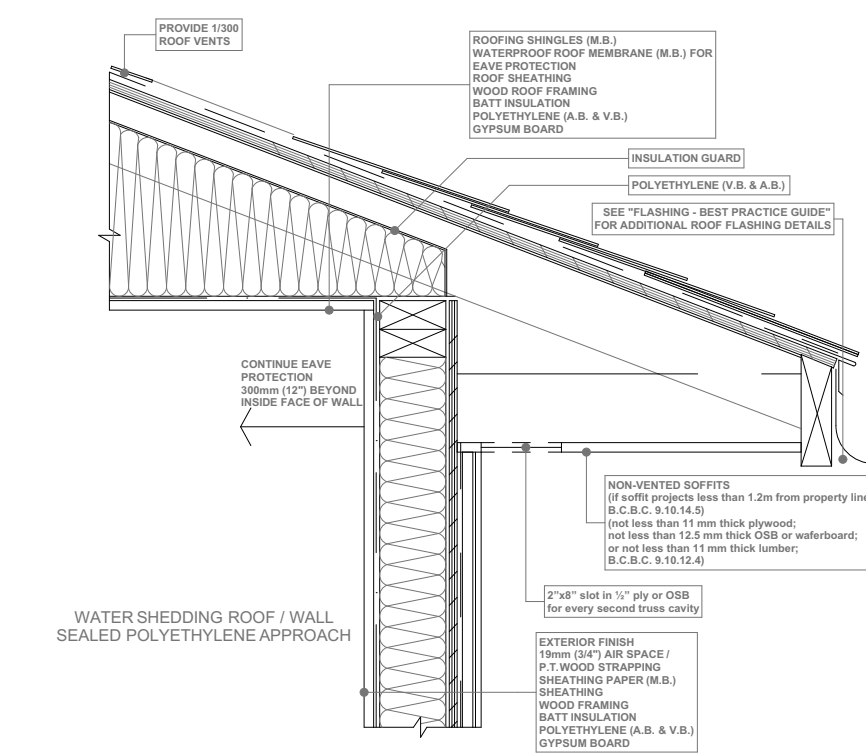
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TYPICAL BUILDING SECTION
SCALE: 1/4" = 1' - 0"



W13a - PARTY WALL DETAIL
SCALE: 1/4" = 1' - 0"



SOFFIT DETAIL
SCALE: 3/4" = 1' - 0"

CUSTOMER:
ASH MOUNTAIN CONSTRUCTION
ADDRESS:
3321 LUXTON RD., LANGFORD BC

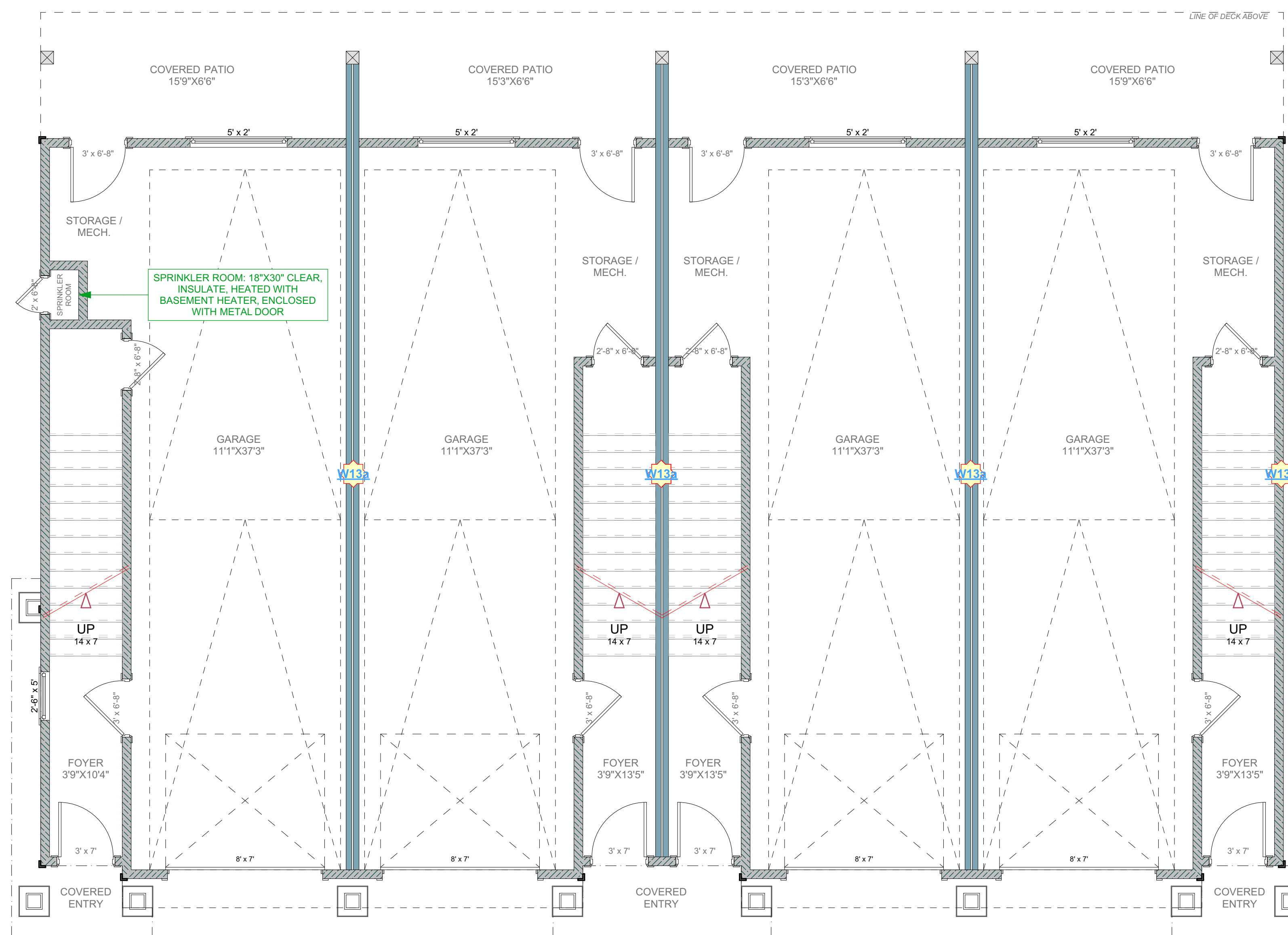
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BUILDING SECTION AND DETAILS
DRAWING SCALE:
SEE DRAWINGS

ISSUE DATE:
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A LOWER FLOOR PLAN (8'-0 3/4" WALLS)

SCALE: 1/4" = 1' - 0"

- UNIT 001 LOWER FLOOR AREA: 103.99 Sq Ft
- UNIT 001 GARAGE AREA: 505.47 Sq Ft
- UNIT 002 LOWER FLOOR AREA: 100.27 Sq Ft
- UNIT 002 GARAGE AREA: 502.93 Sq Ft
- UNIT 003 LOWER FLOOR AREA: 100.27 Sq Ft
- UNIT 003 GARAGE AREA: 502.93 Sq Ft
- UNIT 004 LOWER FLOOR AREA: 103.99 Sq Ft
- UNIT 004 GARAGE AREA: 505.47 Sq Ft

CUSTOMER:
ASH MOUNTAIN CONSTRUCTION
ADDRESS:
3321 LUXTON RD., LANGFORD BC

DRAWING NAME:
LOWER FLOOR PLAN
DRAWING SCALE:
1/4"=1'-0"

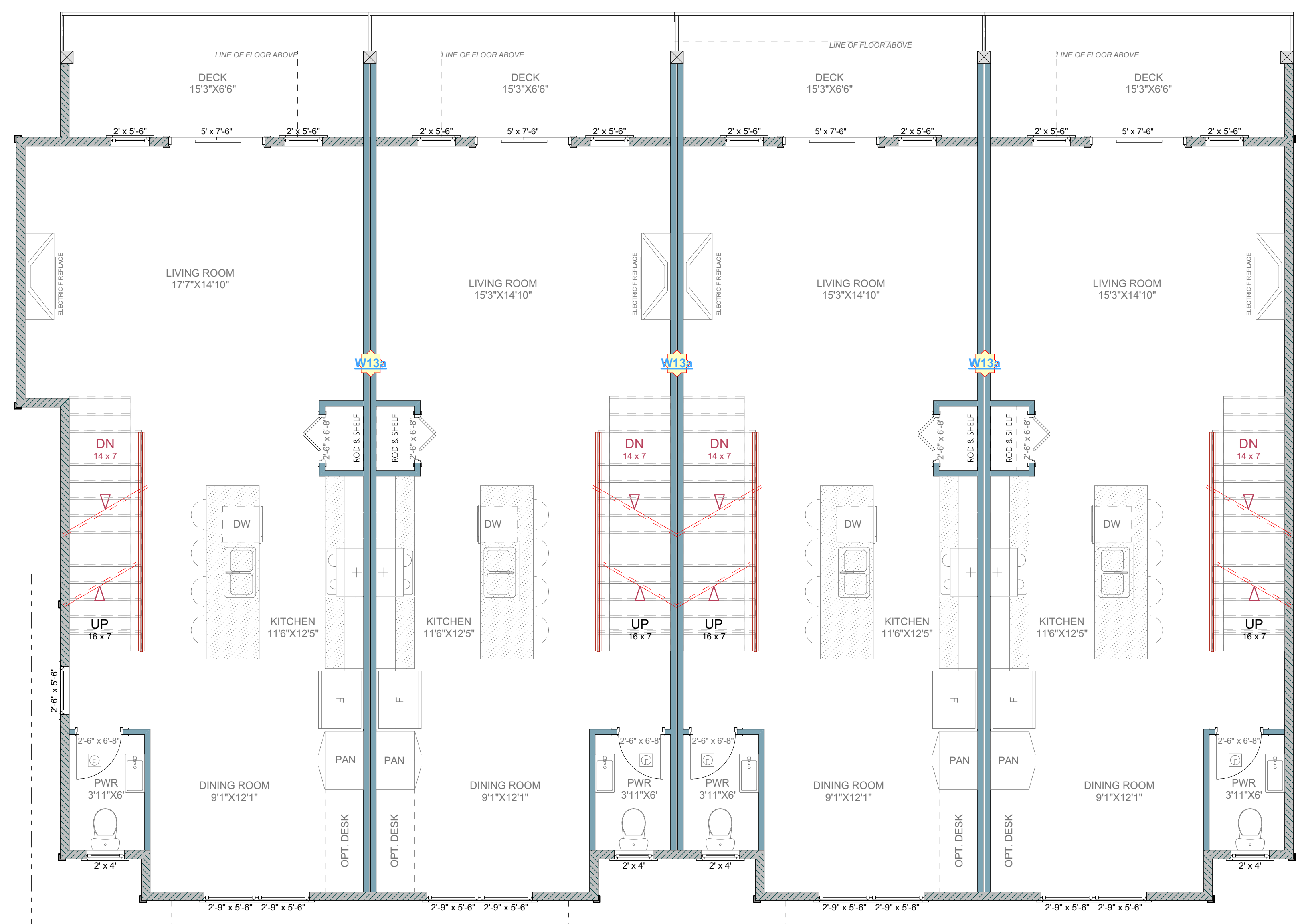
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A3

FOR REZONING APPLICATION / DISCUSSION - NOT FOR CONSTRUCTION



A MAIN FLOOR PLAN (9'-0 3/4" WALLS)

SCALE: 1/4" = 1' - 0"

- UNIT 001 UPPER FLOOR AREA: 616.31 Sq Ft
- UNIT 002 UPPER FLOOR AREA: 577.93 Sq Ft
- UNIT 003 UPPER FLOOR AREA: 577.93 Sq Ft
- UNIT 004 UPPER FLOOR AREA: 584.18 Sq Ft

CUSTOMER:
ASH MOUNTAIN CONSTRUCTION
ADDRESS:
3321 LUXTON RD., LANGFORD BC

DRAWING NAME:
MAIN FLOOR PLAN
DRAWING SCALE:
1/4"=1'-0"

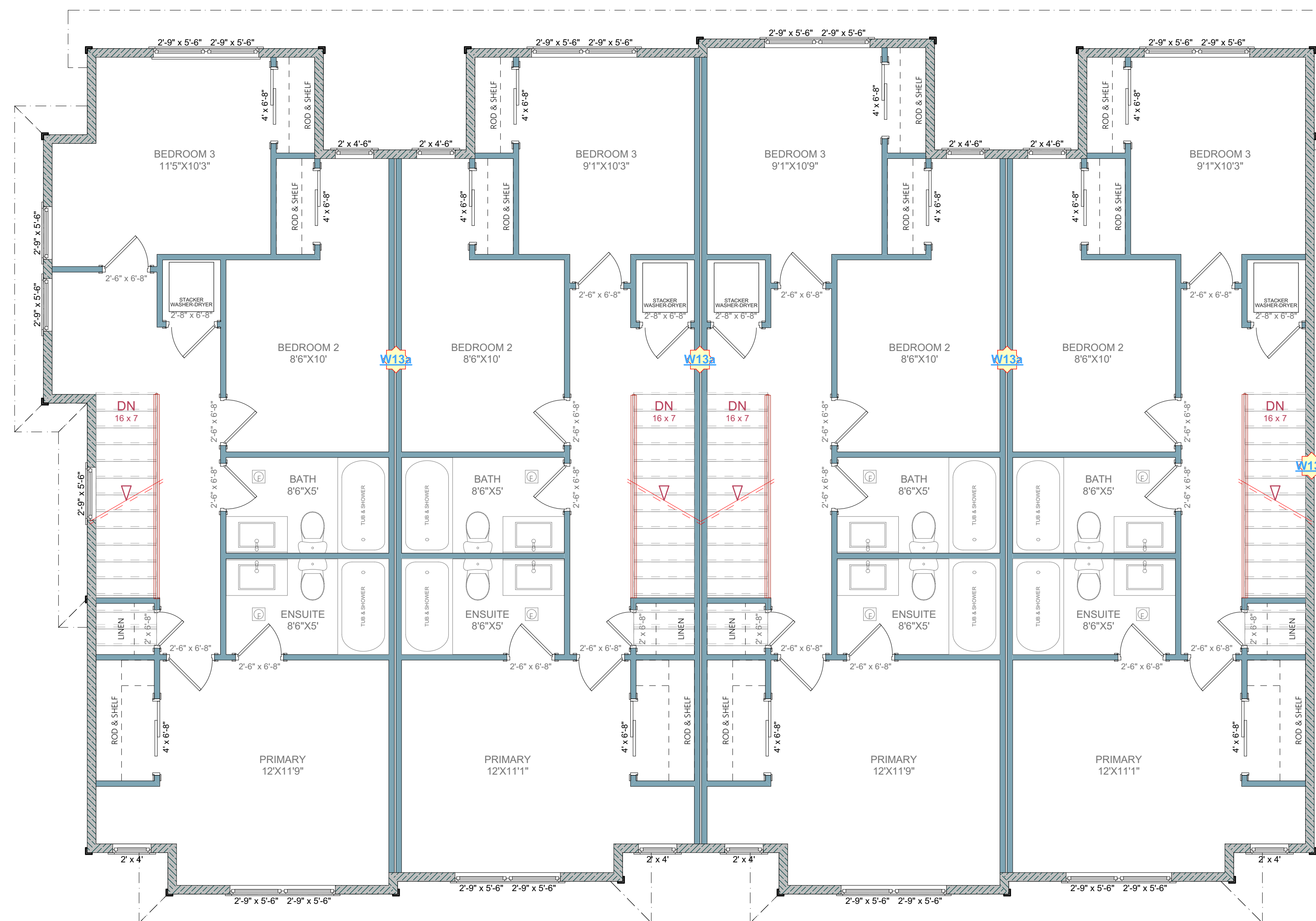
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SHEET NUMBER

A4

FOR REZONING APPLICATION / DISCUSSION - NOT FOR CONSTRUCTION



A UPPER FLOOR PLAN (8'-0 3/4" WALLS)

SCALE: 1/4" = 1' - 0"

- UNIT 001 UPPER FLOOR AREA: 677.92 Sq Ft
- UNIT 002 UPPER FLOOR AREA: 631.45 Sq Ft
- UNIT 003 UPPER FLOOR AREA: 645.40 Sq Ft
- UNIT 004 UPPER FLOOR AREA: 638.23 Sq Ft

CUSTOMER:
ASH MOUNTAIN CONSTRUCTION
ADDRESS:
3321 LUXTON RD., LANGFORD BC

DRAWING NAME:
UPPER FLOOR PLAN
DRAWING SCALE:
1/4"=1'-0"

ISSUE DATE:
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FOR REZONING APPLICATION / DISCUSSION - NOT FOR CONSTRUCTION



TYPICAL BLOCK FRONT AND REAR ELEVATIONS

FRONT ELEVATION
SCALE: 1/4" = 1' - 0"

EXTERIOR FINISHES SCHEDULE			
A	ROOFING:	ASPHALT ROOFING WITH RAISED RIDGE & HIP CAPS MIDNIGHT BLACK SHINGLE	
B	GUTTER & SOFFIT:	WHITE ALUMINIUM GUTTER WITH BLACK ALUMINIUM SOFFIT SOFFIT: WHITE BEADED SOFFIT, KEETING AS PER BCBC GUTTER: WHITE	
C	BARGE BOARD:	2x10 WITH BARGE BOARD, PAINTED TRIM COLOUR BENJAMIN MOORE, OC-152 SUPER WHITE	
D	WINDOW & DOOR TRIM:	1x4 TRIM BOARDS - PAINTED/ STAINED AS PER BUILDERS SPEC BENJAMIN MOORE, BLACK JACK 2133-20	
E	CORNER TRIM:	1x4 CORNER BOARDS - PAINTED/ STAINED CORNER TRIM PAINT FINISH MATCHED TO WALL FINISH	
F1	WALL FINISH:	HARDIE-PLANK SIDING LAPPED TO 8" EXP. - RAINSCREEN AS PER BCBC BENJAMIN MOORE, ETERNITY AF-695	
F2	WALL FINISH:	HARDIE BOARD & BATTEN 1x4@24" o.c. - RAINSCREEN AS PER BCBC BENJAMIN MOORE, OC-152 SUPER WHITE	
F3	WALL FINISH:	HARDIE-SHINGLE SEE ELEVS FOR PATTERN - RAINSCREEN AS PER BCBC BENJAMIN MOORE, BLACK JACK 2133-20	
G	BELLY BAND:	2x10 PAINTED BELLY BAND WITH FLASHING, PAINTED TRIM COLOUR BENJAMIN MOORE, OC-152 SUPER WHITE	
H	RAILINGS:	POWDER COAT ALUMINIUM RAILINGS - 42" HIGH / NON CLIMBABLE BENJAMIN MOORE, BLACK JACK 2133-20	
I	POSTS:	POSTS - PAINTED/STAINED NATURAL WOOD FINISH	
J	GARAGE / REAR DOORS:	POSTS - PAINTED/STAINED AS PER OWNERS SPECS BENJAMIN MOORE, BLACK JACK 2133-20	
K	KNEE BRACES:	DECORATIVE WOOD BRACES IN GABLES - SEE ELEVATIONS NATURAL WOOD FINISH	

HIGHEST ROOF MID-POINT: 122'-5 1/2" (77.25m Geo)

UPPER FLOOR CEILING: 118' (76.35m Geo)

UPPER FLOOR: 109'-11" (73.89m Geo)

MAIN FLOOR CEILING: 109'-1" (73.64m Geo)

MAIN FLOOR: 100' (70.87m Geo)

LOWER FLOOR CEILING: 99'-2" (70.62m Geo)

LOWER FLOOR: 91'-1" (68.15m Geo)

AVG. FIN. GRADE: 90'-7" (68.00m Geo)



REAR ELEVATION
SCALE: 1/4" = 1' - 0"

CUSTOMER:
ASH MOUNTAIN CONSTRUCTION
ADDRESS:
3321 LUXTON RD., LANGFORD BC

DRAWING NAME:
ELEVATIONS / MATERIALS
DRAWING SCALE:
1/4"=1'-0"

ISSUE DATE:
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CHECKED BY:
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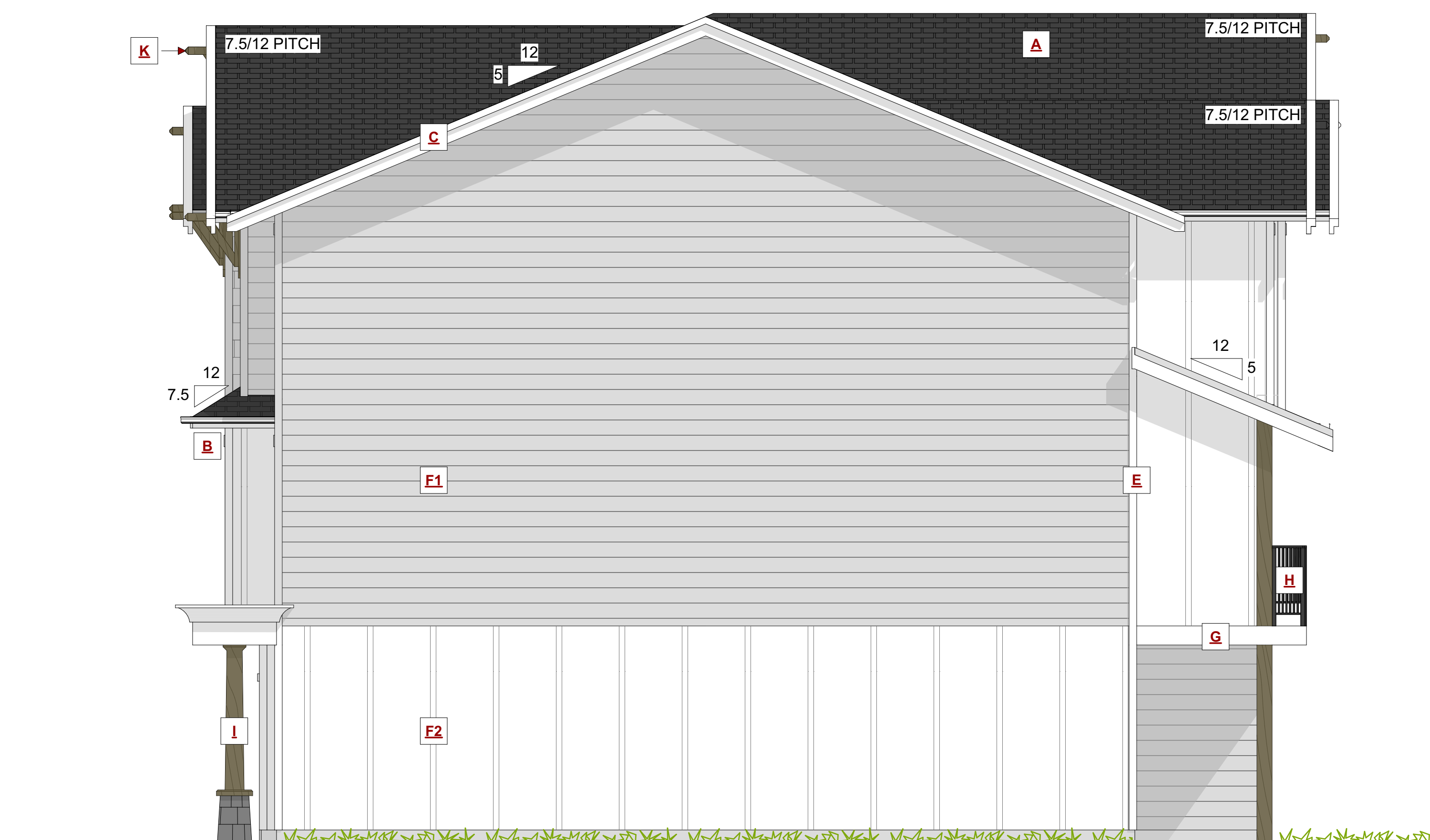
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LEFT ELEVATION EXTERIOR SIDE YARD ELEVATION
SCALE: 1/4" = 1' - 0"

TYPICAL BLOCK
EXTERIOR AND
INTERIOR SIDE
ELEVATIONS

EXTERIOR FINISHES SCHEDULE		
A	ROOFING:	ASPHALT ROOFING WITH RAISED RIDGE & HIP CAPS MIDNIGHT BLACK SHINGLE
B	GUTTER & SOFFIT:	WHITE ALUMINIUM GUTTER WITH BLACK ALUMINIUM SOFFIT SOFFIT: WHITE BEADED SOFFIT, VENTING AS PER BCBC GUTTER: WHITE
C	BARGE BOARD:	2x10 WITH BARGE BOARD, PAINTED TRIM COLOUR BENJAMIN MOORE, OC-152 SUPER WHITE
D	WINDOW & DOOR TRIM:	1x4 TRIM BOARDS - PAINTED/ STAINED AS PER BUILDERS SPEC BENJAMIN MOORE, BLACK JACK 2133-20
E	CORNER TRIM:	1x4 CORNER BOARDS - PAINTED/ STAINED CORNER TRIM PAINT FINISH MATCHED TO WALL FINISH
F1	WALL FINISH:	HARDIE-PLANK SIDING LAPPED TO 8" EXP. - RAINSCREEN AS PER BCBC BENJAMIN MOORE, ETERNITY AF-695
F2	WALL FINISH:	HARDIE BOARD & BATTEN 1x4@24" o.c. - RAINSCREEN AS PER BCBC BENJAMIN MOORE, OC-152 SUPER WHITE
F3	WALL FINISH:	HARDIE-SHINGLE SEE ELEVS FOR PATTERN - RAINSCREEN AS PER BCBC BENJAMIN MOORE, BLACK JACK 2133-20
G	BELLY BAND:	2x10 PAINTED BELLY BAND WITH FLASHING, PAINTED TRIM COLOR BENJAMIN MOORE, OC-152 SUPER WHITE
H	RAILINGS:	POWDER COAT ALUMINIUM RAILINGS - 42" HIGH / NON CLIMBABLE BENJAMIN MOORE, BLACK JACK 2133-20
I	POSTS:	POSTS - PAINTED/STAINED NATURAL WOOD FINISH
J	GARAGE / REAR DOORS:	POSTS - PAINTED/STAINED AS PER OWNERS SPECS BENJAMIN MOORE, BLACK JACK 2133-20
K	KNEE BRACES:	DECORATIVE WOOD BRACES IN GABLES - SEE ELEVATIONS NATURAL WOOD FINISH



RIGHT ELEVATION INTERIOR SIDE ELEVATION (3M BETWEEN BUILDINGS)
SCALE: 1/4" = 1' - 0" NO UNPROTECTED OPENINGS

CUSTOMER:
ASH MOUNTAIN CONSTRUCTION
ADDRESS:
3321 LUXTON RD., LANGFORD BC

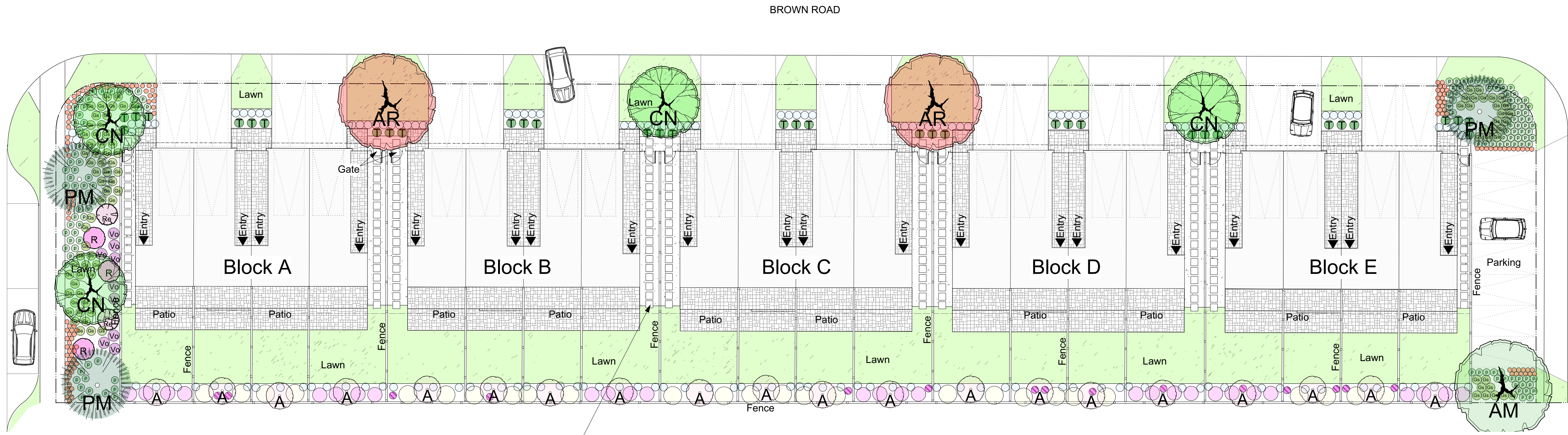
DRAWING NAME:
ELEVATIONS / MATERIALS
DRAWING SCALE:
1/4"=1'-0"

ISSUE DATE:
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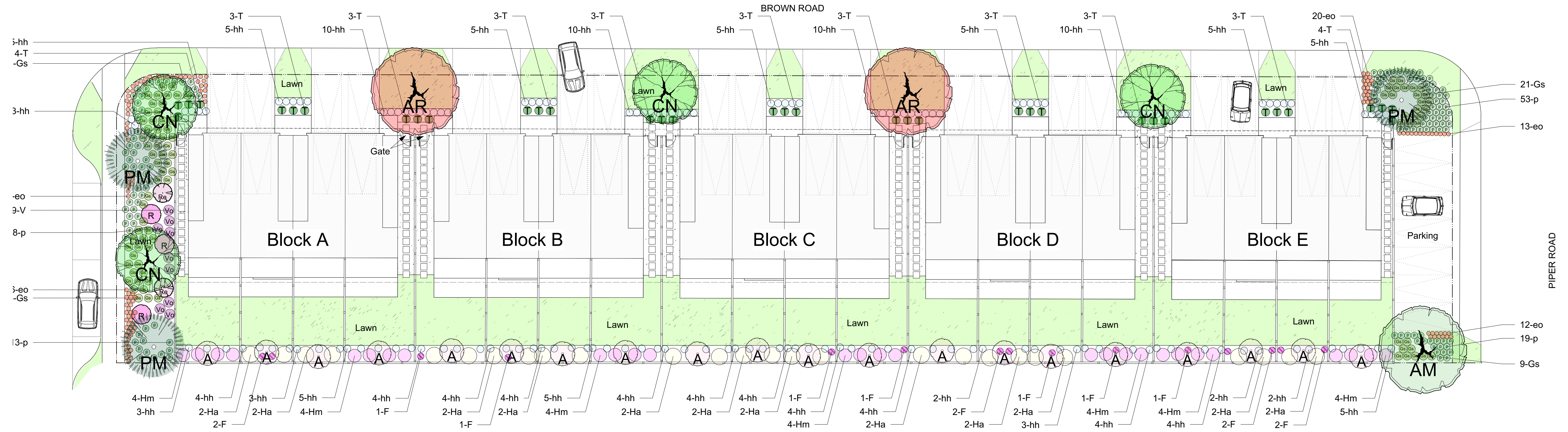
24" X 24" Concrete pavers set on 4" compacted road base, 1" compacted sand. Top dress around pavers with 1" of 1/2" clear drain rock.

PLANTING NOTES:

1. Tree placement and selection to be approved by landscape designer prior to planting.
2. All existing plants to be retained are to be protected during installation and construction.
3. Unless noted otherwise on planting plan, minimum soil depths are to be: 12" in lawn; 18" in groundcover and shrub areas. Each rootball to have one cubic yard of soil distributed to depth of 24" around the tree.
4. Ensure positive drainage away from the building where planting soil is to be run against the building face.
5. All new trees to be staked securely.
6. Lawn to be approved seed mix or approved sod. Hydro-seed will take place where grass is not feasible.
7. Subsurface grade to be sloped toward drainage pipe.
8. Soil mix in lawn areas to be 80% sand unless otherwise noted. Soil mix to comply with BCSLA / BCLNA Landscape Standard.
9. All planting beds to be bermed up minimum 4" above adjacent lawn or hard surface areas, except around existing trees. Existing trees are not to have grades adjusted around them.
10. All plants to come from SOD free (Sudden Oak Death or Phytophthora ramorum) certified nursery.
11. Any substitutions must be approved by landscape designer prior to ordering.
12. All new landscape areas shall be irrigated by a commercial grade, fully automatic irrigation system. Irrigation system to be adjusted to avoid over spray onto streets.

PAVING NOTE:

13. Patios and walk paths to be either cast in place concrete with exposed aggregate finish, or interlocking concrete pavers on appropriately prepared base.



This plan and design are, and at all times remain, the exclusive property of KMZ Landscapes and cannot be used or reproduced without written consent. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job. The designer shall be informed of any variation from the dimensions and conditions on the drawing.

c	Quantity	Latin Name	Common Name	Category	Scheduled Size
AM	1	Acer macrophyllum	Bigleaf maple	Tree	6cm caliper, B&B
AR	2	Acer rubrum 'Franksred'	Red Sunset maple	Tree	6cm caliper, B&B
CN	4	Cornus nuttallii x kousa 'Starlight'	Starlight dogwood tree	Tree	6cm caliper, B&B
PM	3	Pseudotsuga menziesii	Douglas fir	Tree	2m tall
A	20	Amelanchier alnifolia	Serviceberry	Shrub	#10 pot, tree form
F	15	Fuschia 'Riccartoni'	Fuschia	Shrub	#1 pot
Gs	89	Gaultheria shallon	Salal	Shrub	#1 pot
Ha	26	Hydrangea arborescens 'Annabelle'	Annabelle hydrangea	Shrub	#2 pot
Hm	28	Hydrangea macrophylla 'Endless Summer'	Pink mophead hydrangea	Shrub	#2 pot
R	3	Ribes sanguineum	Red flowering currant	Shrub	#10 pot; 3' to 4' tall and wide
Re	2	Rhododendron 'Elegans'	Rhododendron	Shrub	#7 pot
T	35	Taxus x media 'Hicksii'	Hicks yew	Shrub	3' tall
V	9	Vaccinium ovatum	Evergreen huckleberry	Shrub	#2 pot
eo	128	Epimedium 'Orangekonigen'	Barrenwort	Perennial	#1 pot
hh	152	Hosta 'Halcyon'	Hosta	Perennial	#1 pot
p	133	Polystichum munitum	Western sword fern	Perennial	#1 pot



Red Sunset Maple
Acer rubrum 'Franksred'



Starlight Dogwood Tree
Cornus nuttallii x kousa 'Starlight'



Douglas Fir
Pseudotsuga menziesii



Project :
 Ash Mountain Construction
 3321 Brown Road
 Langford, BC

Drawing Title :
 Landscape Plan

DRAWN BY: KMZ	CHECKED BY: KMZ
SCALE: 1:200	SHEET:
DATE: June 3, 2024	

L-01

SouthShore Forest Consultants

Victoria B.C. & Calgary, Alberta

butcherlodi@aol.com

250.893.9056

February 22, 2024

Attention: Gord Baier
Ash Mountain Construction Ltd.
5320 la Bonne Road
Victoria BC V9L 0A3

SouthShore Forest Consultants

PO Box 2203, Sidney BC V8L-3S8

Phone: (250) 893-9056, email: butcherlodi@aol.com

GST # 777095324 RC001

Work Safe BC # 968408

Insurance/ Seafirst (CFC Underwriting - 5 million Dollar Liability- Policy PSG03515712)

Incorporation # BC1069996 Ltd.

Intermunicipal Business Licence #00016808

BC SEBASE Safe Certified #5200066

RE: Proposed Development Project - Tree Protection Plan**Location - 3321 Luxton Rd - Langford B.C.**

On February 15, 2024 Ray Praud an Associate Consulting Arborist with SouthShore Forest Consultants provided a Basic Visual Tree Risk Assessment Level "2" on several trees positioned within the proposed development area. Our assessment has determined that six (6) trees within the site will be significantly impacted under the existing development proposal. Our assessment of the site has determined that each of the six trees must be removed under the existing proposal.

The client has proposed to develop a five (5) block (20 units) residential strata type development with road/sidewalk and landscape improvements.

Under the existing proposal each of the six trees will be significantly impacted due to development requirements. Excavation, cut, slope and building/driveway footprints will significantly impact tree Protected Root Zones (PRZ) & Critical Root Zones (CRZ). The proposed building envelopes, combined with the road & driveway alignment will directly impact each of the six trees.

Four (4) of the trees are considered to be Bylaw Protected under the current City of Langford Bylaw No. 2136.

Tree Inventory – 3321 Luxton Road – City of Langford B.C.

Tomahawk Tree Services Ltd. (TTS) / SouthShore forest Consultants											
Appendix A - Tree Inventory/Hazard Ratings Summary											
Location: 3321 Luxton Rd. Langford, BC											
Date: February 15, 2024								Conditions during TTS inventory visits: 2°C, Snowing, 5km/h W Breeze			
Tag #	Species	DBH (cm)	PRZ (m)	Height (m)	Health/Structure	Canopy (r) (m)	Bylaw Protected	Action	Observations	Impact Comments	
197	Big Leaf Maple	22	4	8	FP/FP	4	Yes	Remove	6x stem AG 15,22,16,13,14,18cm. Hydro pruned. Dead wood. Included bark.	High impact - sidewalk	
198	Plum	19	3	5	F/FP	3	No	Remove	4x stem AG 11,12,13,19cm. Dead wood. Included bark.	High impact - driveway Block #1	
199	Blue Spruce	30	5	5	F/F	3	Yes	Remove	Epicormic leaders. Exposed surface roots.	High Impact - Site Improvements	
200	Norway Spruce	21	3	8	F/F	3	Yes	Remove	Basal wound AG. Exposed surface roots.	High impact - driveway Block #2	
NT1	Leyland Cypress	11	2	6	F/FP	2	No	Remove	3x stem AG 11,11,10cm. Located .25m from house foundation.	High impact - driveway Block #1	
NT2	Plum	20	3	5	FP/FP	3	Yes	Remove	2x stem AG 18,20cm est. dead wood. Located 1m from accessory building.	High impact - Foundation Block #2	

Tree Species Identification Listing

Big leaf maple (*Acer macrophyllum*)

Plum species (*Prunus spp.*)

Blue spruce (*Picea pungens*)

Norway spruce (*Picea abies*)

Leyland cypress (*Cupressus x leylandii*)

Tree Bio Metrics

DBH - Diameter Breast Height - Calculated at 1.41 m above grade on tree stem

PRZ - Protected Root Zone, (calculated at a ratio of 1:12) 50cm DBH = 6m PRZ

CRZ - Critical Root Zone, (calculated at a ratio of 1:6) 60cm DBH = 3m CRZ

Tree Health - P= Poor, F=Fair, G=Good

Tree Structure - P= Poor, F=Fair, G=Good

Footprint = Excavation edge along the outside of building envelope on grade. Over excavation is expected and can be up to a 1.5m distance from the outside of the proposed footprint edge.

Impact Zone = Constructive area, estimated at 0-1.5m outside the proposed building footprint.

Impact Levels - L (Low), M (Moderate), H (High)

Impact Tolerance - L (Low), M (Moderate), H (High)

Tree Assessment Condition Rating

- Good - A tree specimen which is exempt defects, branch dieback, moderate insect and fungal identification. This tree has evenly distributed branching, trunk development and flare. The root zone is undisturbed, leaf, bud and flower production and elongation are normal for its distribution.
- Fair - A tree specimen which has minor defects, branch dieback, previous limb failure, identification of cavities and insect, or fungal identification. This tree has multiple (2-3) primary stem attachments; previous utility pruning, callus growth and poor wound wood development. Minor root girdling, soil heave and identifiable mechanical damage to the root flare or root zone.
- Poor- A tree specimen where 30-40% of the canopy is identifiably dead, large dead primary branching, limited leaf production, bud development and stem elongation. Limb loss or failure, and heavy storm damage leading to uneven weight distribution. Large pockets of decay, multiple cavities, heavy insect and fungal infection. Root crown damage or mechanical severing of roots. Root plate shifting, heavy lean and movement of soil.
- Dead- Tree has been observed to be dead with no leaf, foliar and bud development. No stump sprouts and root suckers are present.

Figure #1 – Ortho Photo 2021 – 3321 Luxton Road – Langford B.C.

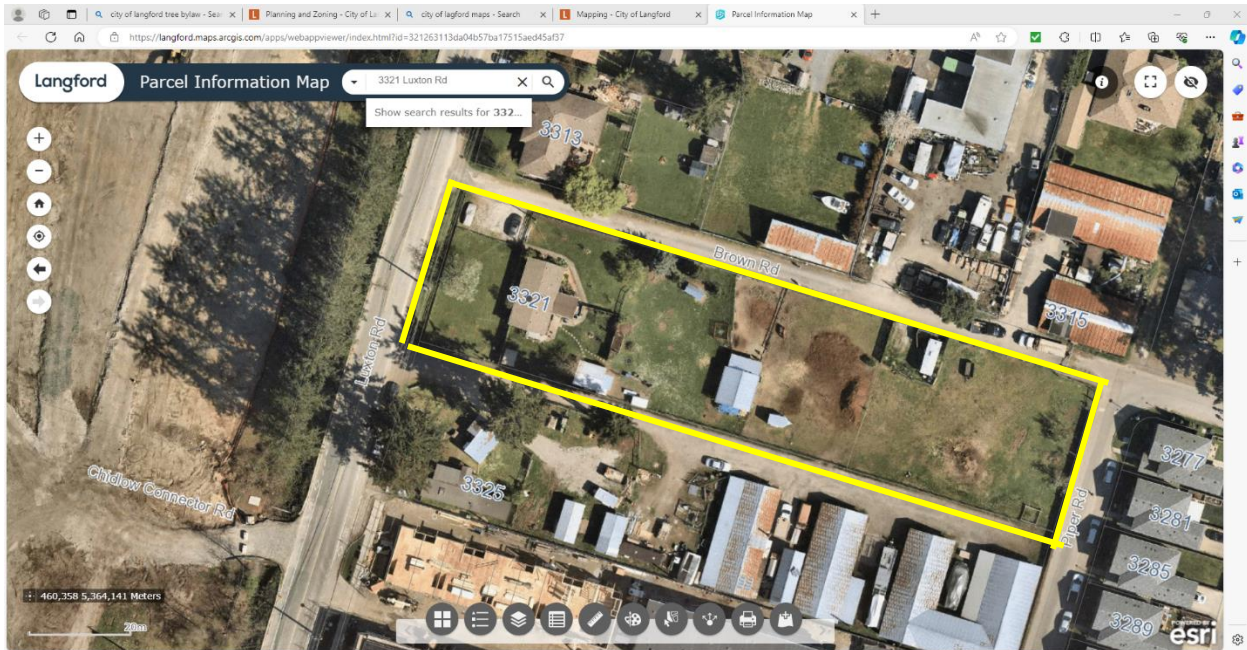


Figure #2 – Utility Infrastructure– 3321 Luxton Road – Langford B.C.

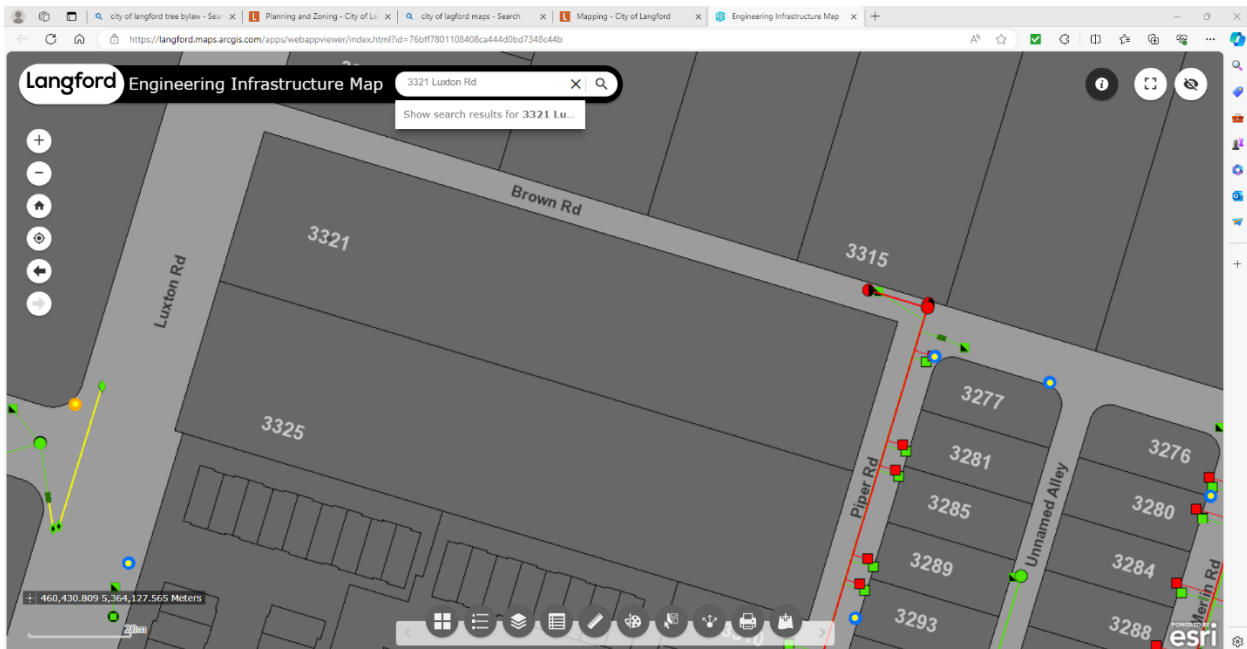


Figure #3 – Site Map & Tree Locations– 3321 Luxton Road – Langford B.C.

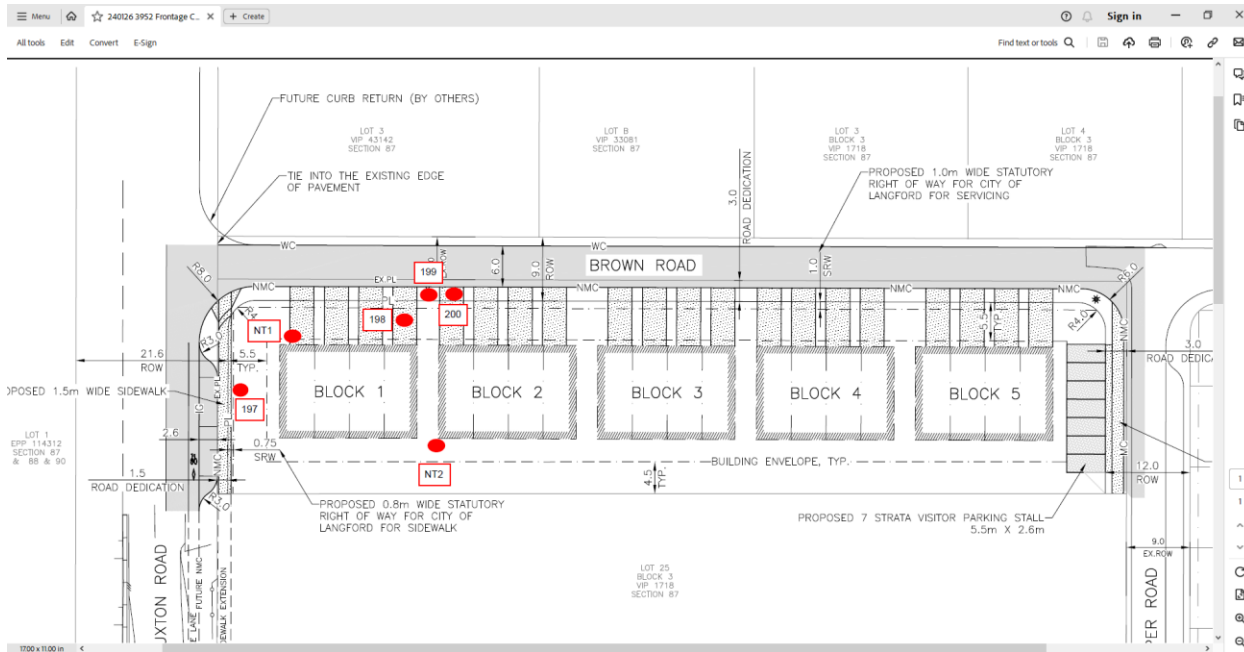


Figure #4 – Site Map & Tree Locations Expanded – 3321 Luxton Road – Langford B.C.

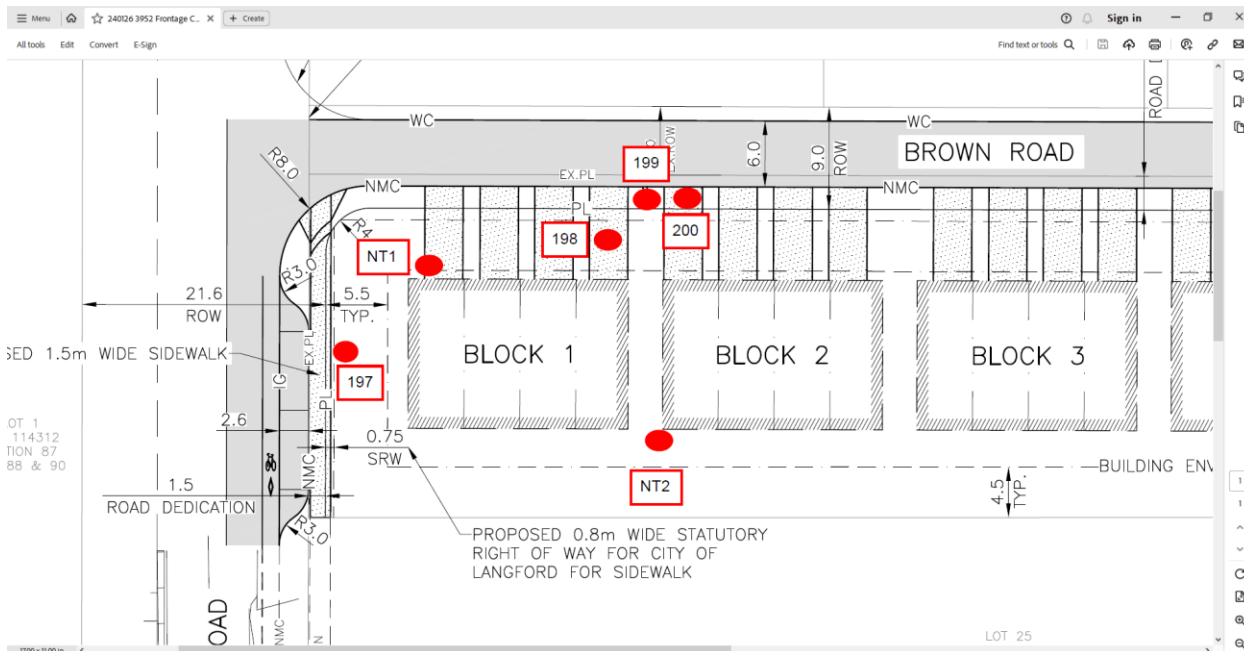
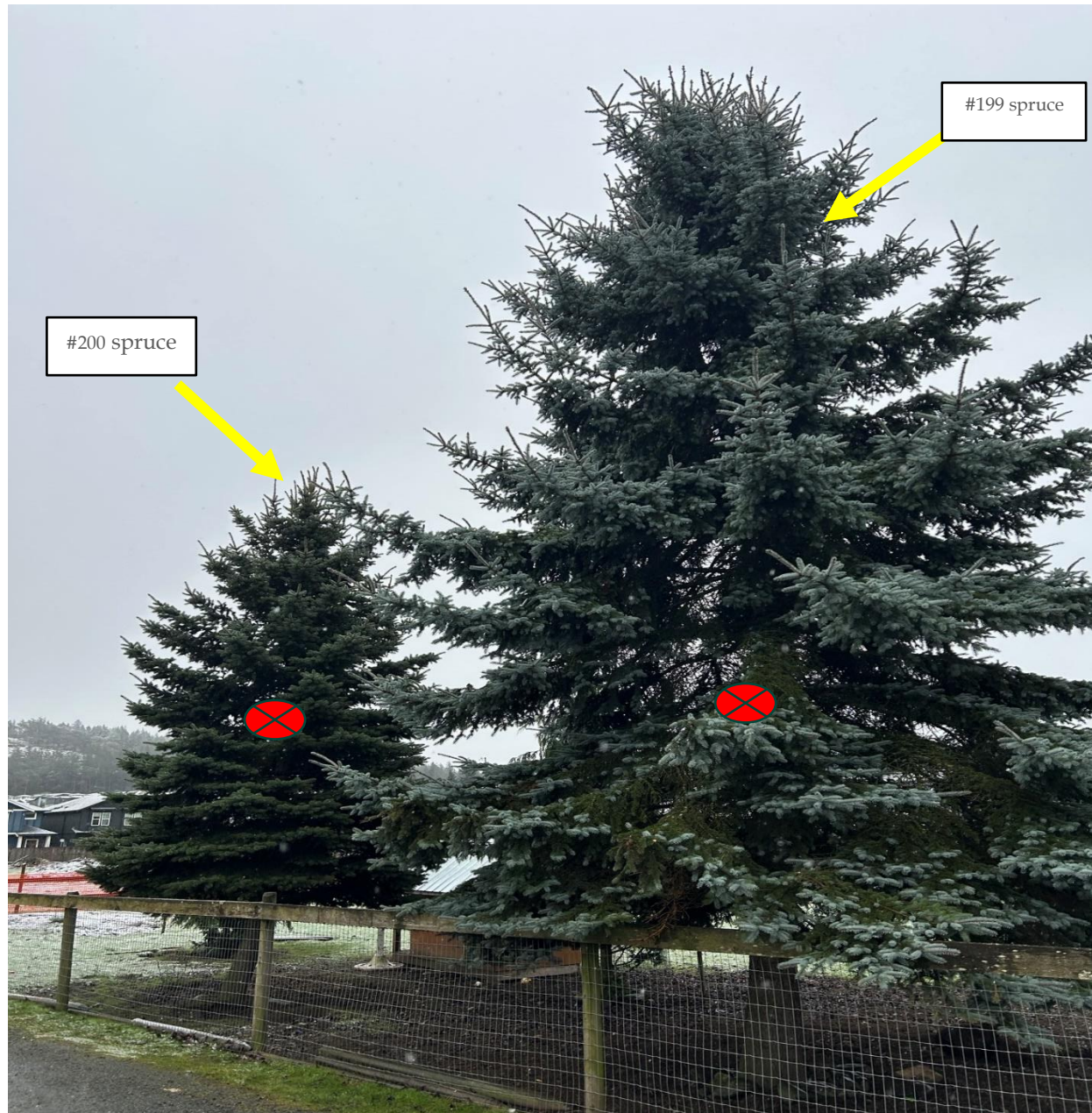
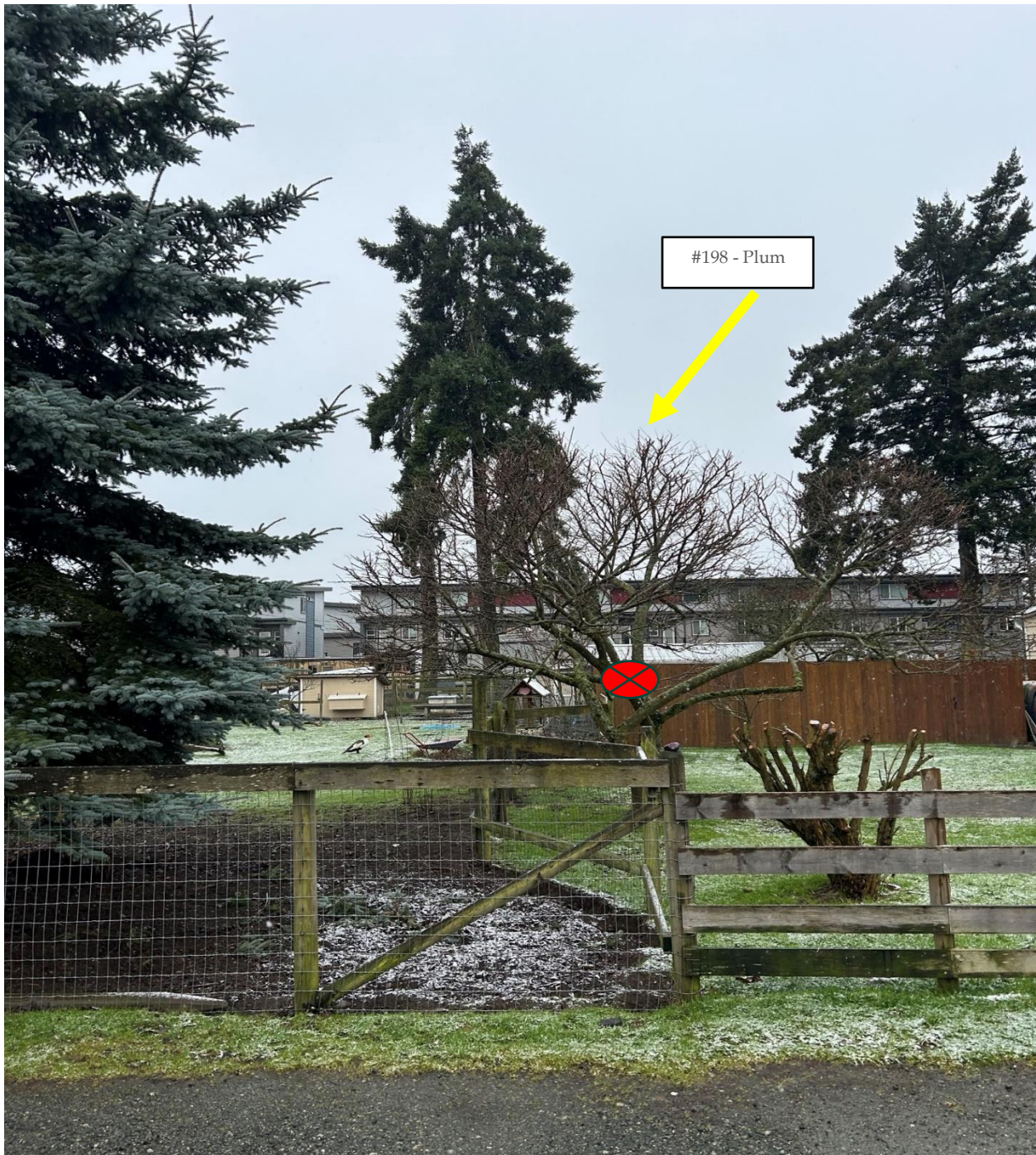


Photo #1 - #199 & #200 Spruce Trees - 3321 Luxton Road



In this photo you can see the two spruce trees positioned along the Brown Road frontage. Under the existing proposal the developer will be responsible for frontage improvements which include a sidewalk. Combined with the driveway alignments each of these two trees will be significantly impacted and listed for removal during the demolition phase of the project.

Photo #2 - Plum Tree #198 - 3321 Luxton Road



In this photo you can see plum tree #198. This tree will be directly impacted, positioned in the proposed alignment of the driveway approach at "Block A". This tree will be removed during the demolition phase of the project.

Photo #3 - NT1 Leyland Cypress - 3221 Luxton Road

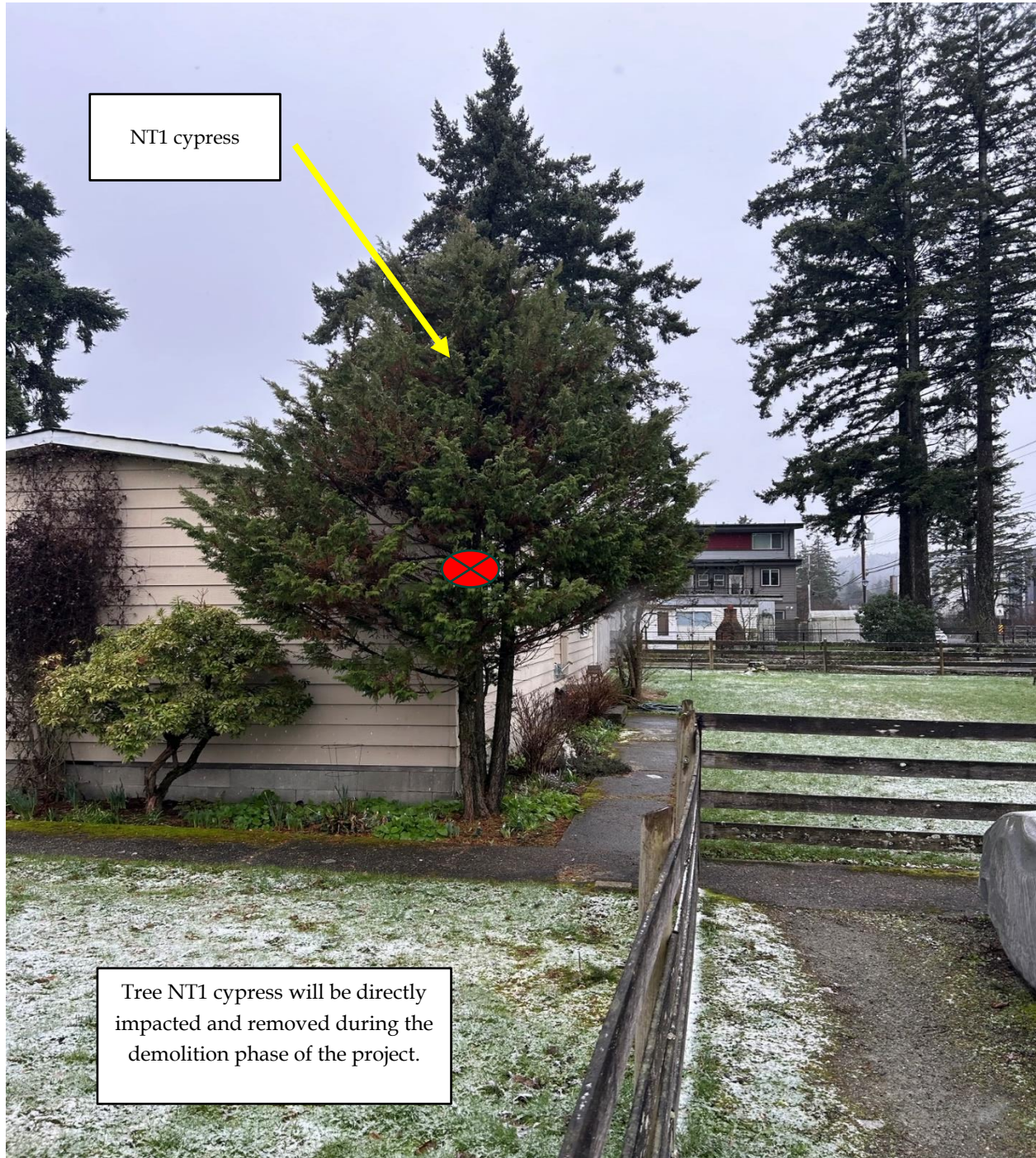


Photo #4 - #197 Big Leaf Maple - 3321 Luxton Road

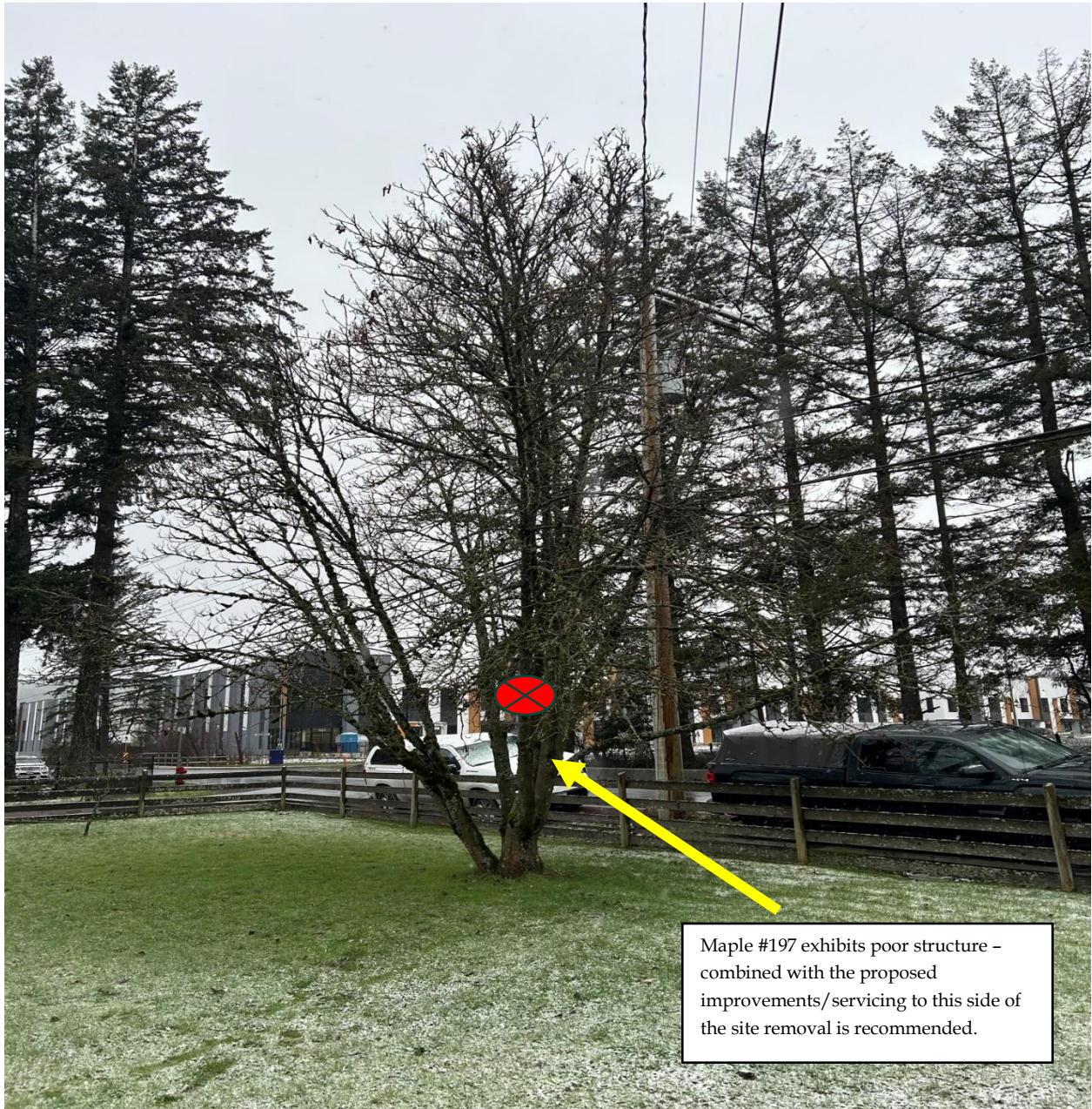


Photo #5 - NT2 Plum - 3321 Luxton Road




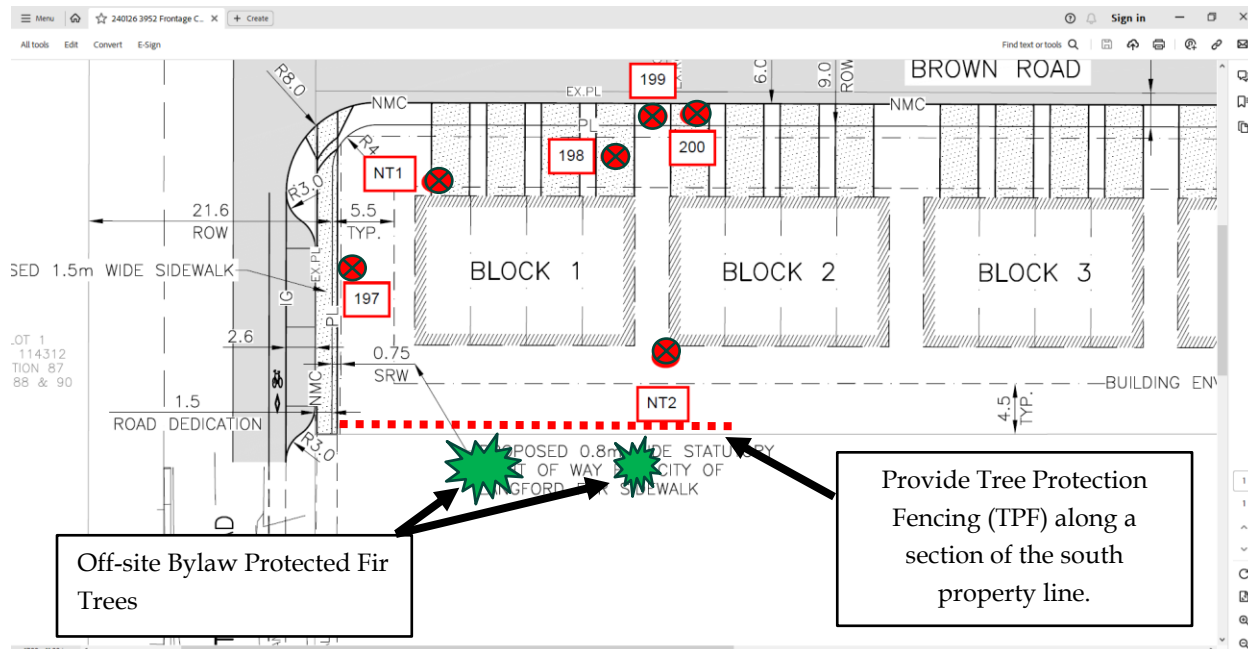
Tree Dynamics

Observed Potential Tree Impacts

- Each of the six trees will sustain significant impacts to tree root zones. Under the existing proposal each of the six trees must be removed.
- Soils compaction will be significant throughout most of the site. Under the existing proposal approximately 40% of the site will be covered by building footprints, driveway and servicing requirements. Combined with road, utility and hardscape improvements our assessment indicates significant root impact to all existing trees within the site.

Tree Protection Plan (TPP) - Site Specific

- Provide Tree Protection Fencing as per Project Arborist Recommendations.
- Tree removal is indicated by 



Tree Protection Plan – General Notes

- i. Provide a detailed sign specifying that tree protection measures are in place and will be followed during the project. Fines will be posted for malicious acts and can be placed on individuals who disregard the tree protection plan and its guidelines. Signs will be placed at each entrance of the project detailing what is expected when working in potentially high impact tree protection zones.
- ii. Provide tree protection fencing for all trees identified with protection requirement in this report. This fencing shall be four (4ft) feet in height and made of orange plastic. If required, header and footer boards will be used to secure the protective fencing. Use the City of Langford tree protection specifications.
- iii. Tree protection and root protection signs will be placed on the fencing. No entry will be allowed, unless specified by the project arborist and in their presents while on site.
- iv. Restrict vehicle traffic to designated access routes and travel lanes to avoid soil compaction and vegetation disturbances.
- v. Make all necessary precautions to prevent the storage of material, equipment, stockpiling of aggregate or excavated soils within tree protection areas. No dumping of fuels, oils or washing of concrete fluids will be allowed in tree protection zones.
- vi. Provide an onsite arborist when a risk of root damage, root cutting or limb removal is required within the tree protection zone.
- vii. Avoid alterations to existing hydrological patterns to minimize vegetation impacts to the site.
- viii. The use of a project arborist is required to provide layout of tree protection zones. The project arborist(s) will provide pre-construction information to all parties involved with the project. The arborist must be notified 72hrs prior to construction activities in sensitive areas. The project arborist should be used to provide root and branch pruning when diameters are greater than 6cm.
- ix. At no time will tree protection zones be removed from the project unless approved by the project arborist.

Each tree protection zone must be absent & clear of all construction materials and/or equipment. At no time can the fence be taken down unless the Project Arborist is contacted and approval is given. The Project Arborist must assess and assist fence removal and combined impacts which are require for construction completion. Michael Butcher 250.893.9056 – 72 hours’ notice required.

Landing/Storage Area

- Materials storage will be confined to the interior of the site.

Compaction Reduction

- Project Arborist to make recommendations once TPFing is erected. Root armour will not be required in this case. (Root curtain, mulching & irrigation TBD)

Root Assessment and Observation

- Provide Project Arborist for all excavation operations/requirements within this site. N/A
- Project Arborist to monitor and make further recommendations if roots greater than 6cm in diameter are exposed. N/A

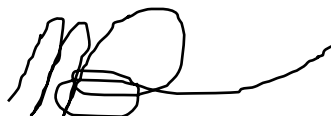
Utility Corridor

- Pending further information – all utilities have been proposed outside tree protected root zones. N/A

Tree Pruning - Elevation

- Ensure that any pruning required for working distances to provide a 4-6m clearance over the development zone. This will reduce the probability of branch tear or pulling from the egress of construction equipment. Provide pruning to ANSI A300 Tree Care Industry Standards. Provide a Certified Arborist to perform tree pruning activities. (Minor pruning may be required) – N/A
- **Landscape plan - pending - Tree replacement to be mitigated at a 1:1 replacement ratio. The site can accommodate more than six (6) tree replacement plantings.**

Michael Butcher - Consulting Arborist



Michael Butcher- President
 SouthShore Forest Consultants
 BSc Forestry
 ISA-ON-0583A
 TRAQ-#1401
 250.893.9056

GST # 777095324 RC001
 Work Safe BC # 968408
 Incorporation # BC1069996
 BC SEBASE Safe Certified #5200066

Ray Praud - Associate Consulting Arborist
 Tomahawk Tree Service
 ISA Certified Utility Arborist
 TRAQ & Wildlife Assessor



Arborist Disclosure Statement:

Arborist are tree specialists who use their education, training and experience to examine trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risks.

Arborist cannot detect every condition that could possibly lead to structural failure of a tree.

Trees are living organisms that fail in ways we do not fully understand. Conditions are often hidden within trees and below the ground.

Arborist cannot guarantee that the tree will be healthy and safe under all circumstances, or for a specific period of time. Trees are dynamic specimens, not static. Changes in conditions including the environment are unknown.

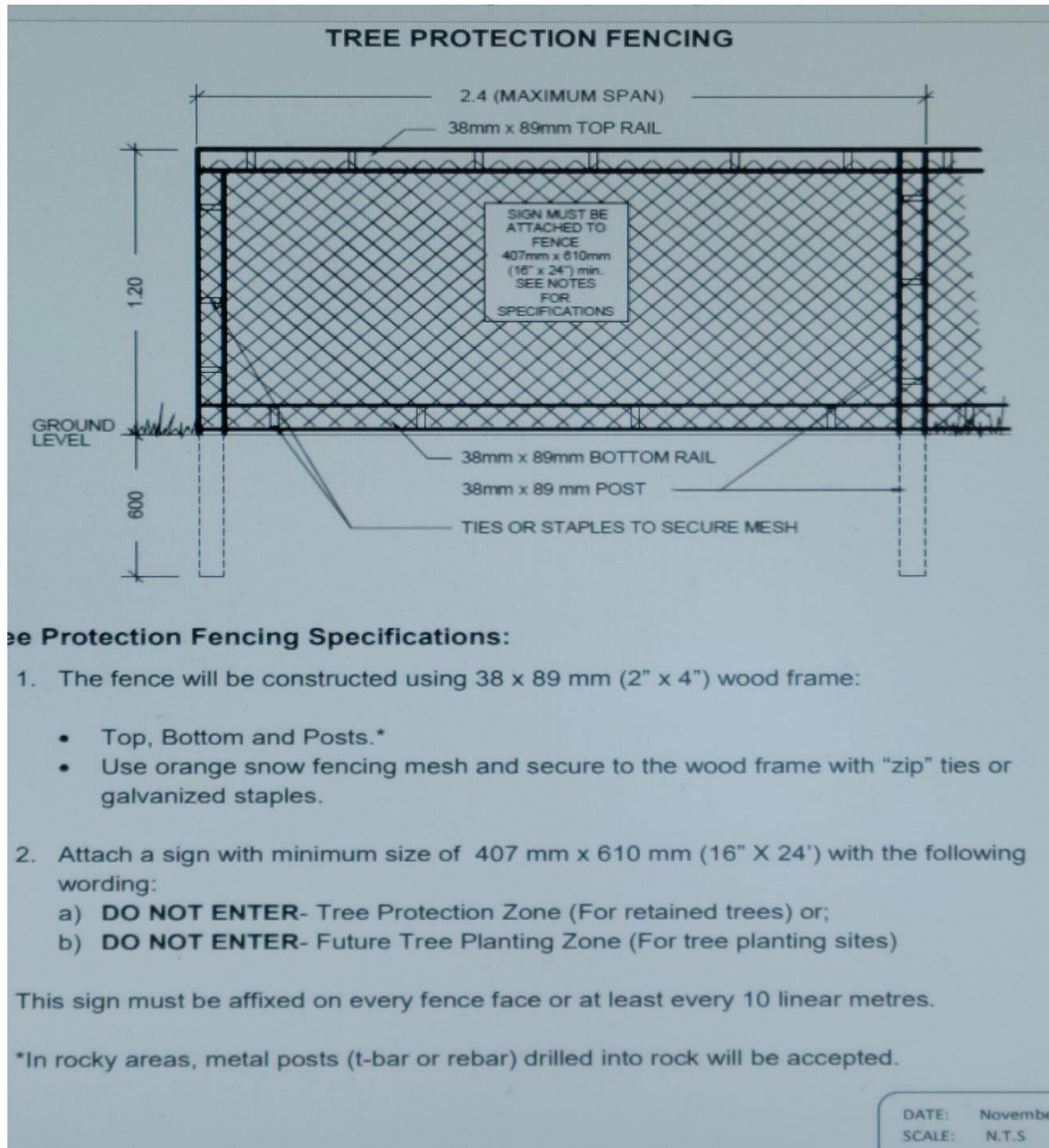
Remedial treatments cannot be guaranteed.

Trees can be managed, but they cannot be controlled. The only way to eliminate all risk is to eliminate all trees.

Figure #6 – Tree Protection Fencing Signage



Figure #7 – Tree Protection Fencing Specifications



Although the site has been assessed, trees in the landscape are dynamic and changes could occur. This report is a static representation of the site during our assessment - Performed February 15, 2024

MMBU Feb 22, 2024, 9:02am

A handwritten signature in black ink, consisting of several overlapping loops and a horizontal line extending to the right.

CITY OF LANGFORD BYLAW NO. 2180

A BYLAW TO AMEND BYLAW NO. 300, "LANGFORD ZONING BYLAW, 1999"

The Council of the City of Langford, in open meeting assembled, hereby enacts as follows:

A. Langford Zoning Bylaw No. 300, 1999 is amended as follows:

1. By deleting from the Rural Residential (RR2) Zone and adding to the Attached Housing (RM2A) Zone the property legally described as:

a) Lot 26, Block 3, Section 87, Metchosin District, Plan 1718, PID No. 007-069-332 (3321 Luxton Road);

as shown shaded on Schedule A attached to and forming part of this Bylaw.

2. By adding the following to Table 1 of Schedule AD:

Zone	Bylaw No.	Legal Description	Amenity Contributions	Eligible for Reduction in Section 2 of Schedule AD
RM2A	2180	a) Lot 26, Block 3, Section 87, Metchosin District, Plan 1718, PID No. 007-069-332 (3321 Luxton Rd)	a) \$3,660 per residential unit created towards the General Amenity Reserve Fund; and b) \$610 per unit created towards the Affordable Housing Reserve Fund	No

B. This Bylaw may be cited for all purposes as “Langford Zoning Bylaw, Amendment No. 725 (3321 Luxton Road), Bylaw No. 2180, 2024”.

READ A FIRST TIME this day of , 2024.

READ A SECOND TIME this day of , 2024.

READ A THIRD TIME this day of , 2024.

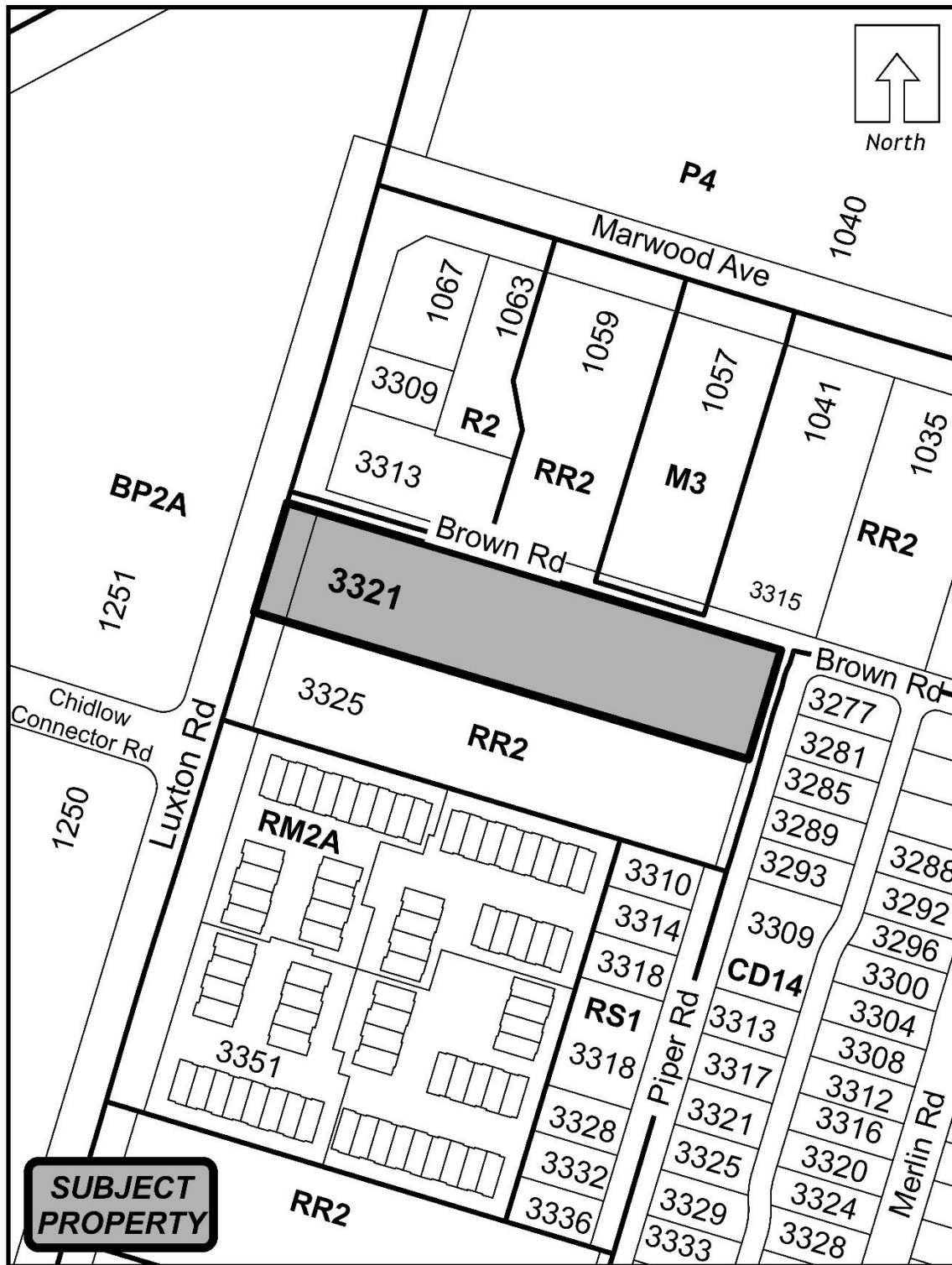
APPROVED BY THE MINISTRY OF TRANSPORTATION AND INFRASTRUCTURE this day of , 2024.

ADOPTED this day of , 2024.

PRESIDING COUNCIL MEMBER

CORPORATE OFFICER

Schedule A





3321 LUXTON ROAD

Rezoning Application Z24-0003

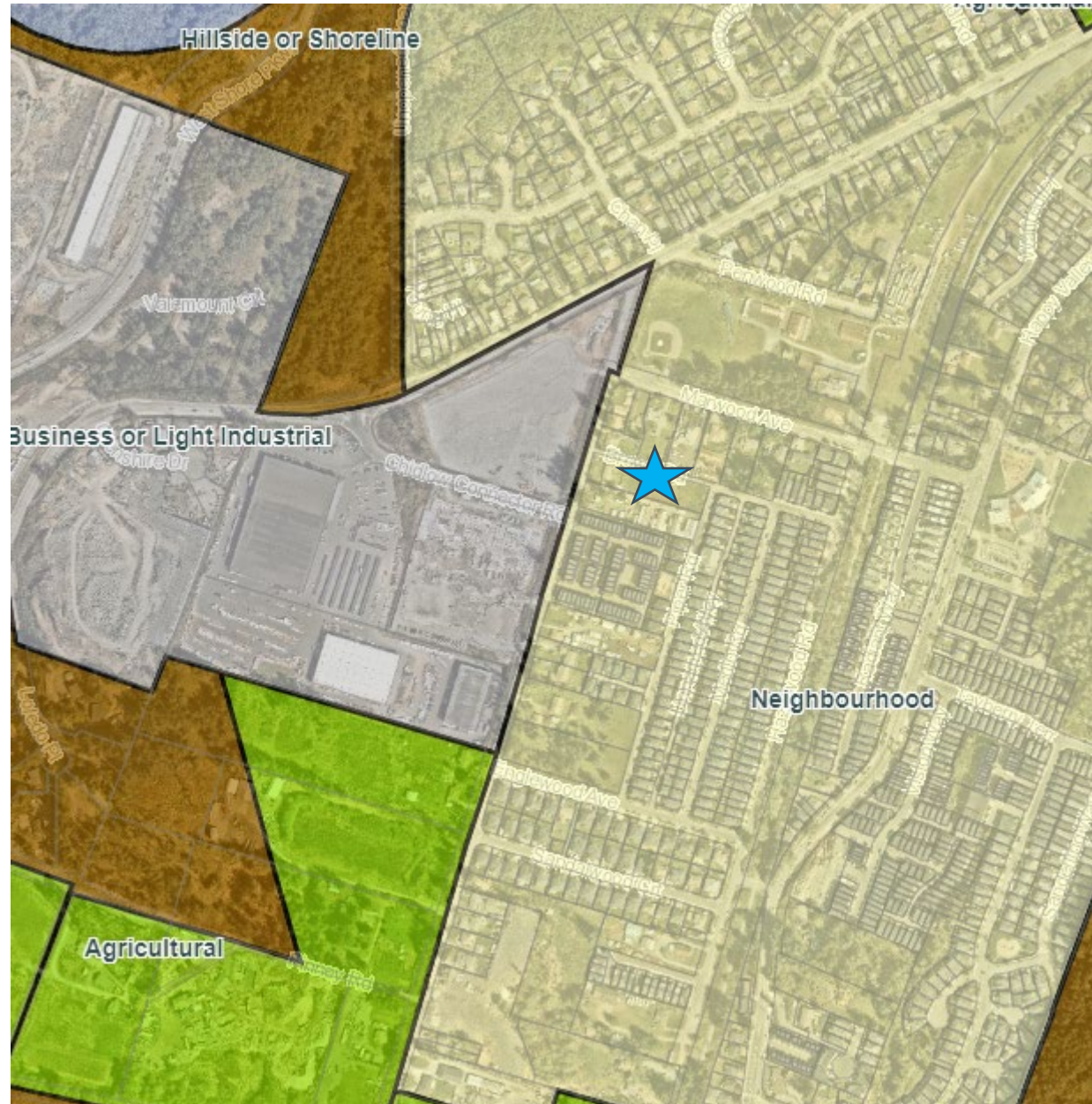
July, 2024

Langford, BC

Site Location

- 3321 Luxton Road (RR2)
- Bounded on the:
 - North - Brown Road
 - East - Piper Road
 - South - RR2
 - West - Luxton Road





Official Community Plan (OCP)

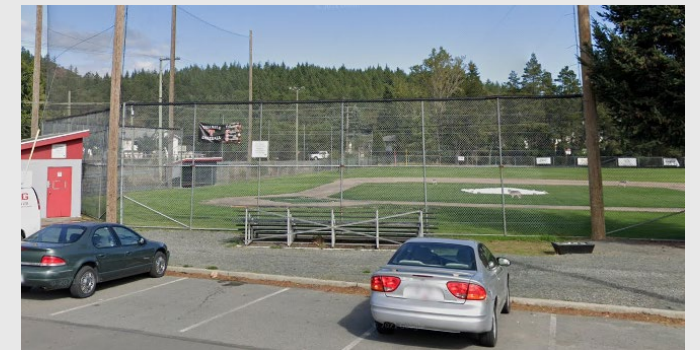
- 3321 Luxton Road
“Neighbourhood”
- Bounded on the:
 - North - Neighbourhood
 - East - Neighbourhood
 - South - Neighbourhood
 - West - Business or Light Industrial

Development Proposal

- ❖ **Current Zone: RR2**, Rural Residential. Allows for a multitude of uses including boarding kennels, cemetery, golf course, etc. Minimum lot size is 4 hectares (9.9 acres).
- ❖ **Proposed Zone: RM2A** Attached Housing (same as the property to the south of 3325 Luxton Road). 5 Block townhome development containing 20 units.
- ❖ **OCP: “Neighbourhood”**, predominantly residential supporting low to medium density housing including secondary suites. Parks, open spaces, schools and recreational facilities integrated into the area.
- ❖ **Parking:** Required 40 (2 per unit), providing 47. Designated visitor parking for 7 vehicles on-site accessed from Piper Road.



Happy Valley Elementary School
400m Walk



Luxton Ball Park and Fairgrounds
250m Walk



**3 Bedroom/3 Bathroom Townhomes
Garage Parking and Driveway Parking**

Townhome Development & Related Improvements

Frontage Works:

❖ Luxton Road:

- ❖ Road dedication to match existing Luxton Road (2.25m)
- ❖ Bikelanes continued from the south
- ❖ Sidewalk on City land
- ❖ Scallop Parking
- ❖ Cash in Lieu for boulevard trees in accordance with Parks Department request
- ❖ Onsite landscaping along Luxton Road in strata common land to provide additional greening along Luxton Road

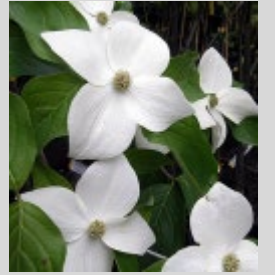
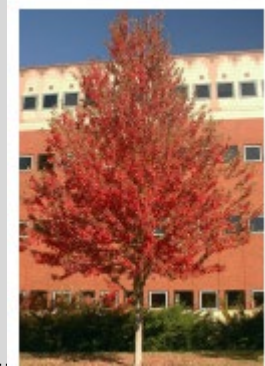
❖ Brown Road:

- ❖ Road dedication (3.5m)
- ❖ Connect Brown Road to existing Brown Road located east of Piper Road
- ❖ Future sidewalk will be on north side of the ultimate Brown Road right of way
- ❖ Installation of streetlights as required to meet Bylaw No. 1000
- ❖ Cash in lieu for boulevard trees per Parks Dept.

❖ Piper Road

- ❖ Road dedication (3.0m)
- ❖ Extension of sidewalk north along property line
- ❖ Cash in lieu for boulevard trees per Parks Dept.

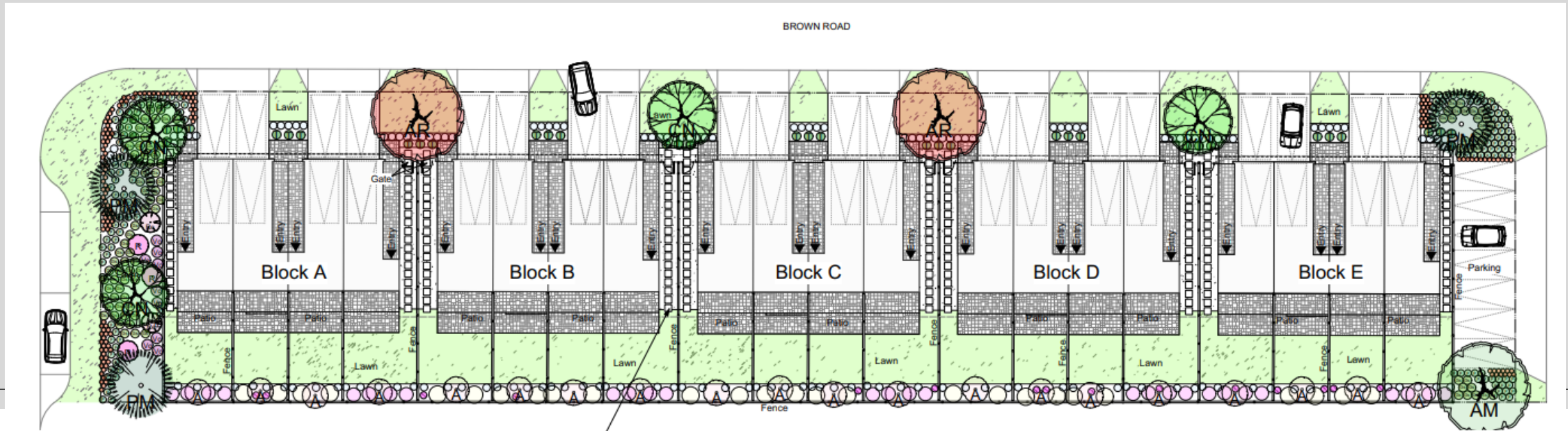
Townhome Development & Related Improvements



Onsite Works:

❖ Landscaping and Fencing:

- ❖ Fencing in the form of 6' (1.8m) solid board fence will be installed along the rear yard lot lines and the Piper Road lot line. A picket fence will be installed along the Luxton Road frontage, to the east of (behind) the proposed landscaping so that the landscaping is visible from Luxton Road.
- ❖ Strata landscaping to include landscaping within the open space between the residential fence and Luxton Road as well as on the north and south end of the Parking on Piper road



Townhome Development & Related Improvements

❖ Services/Utilities:

- ❖ All new services underground
- ❖ Municipal water and sewer
- ❖ Natural gas possible but not firmed up yet
- ❖ Heat pumps for each unit

❖ Stormwater


- ❖ Onsite stormwater detention per request by Engineering Department
- ❖ Onsite stormwater detention will be in the rear yards, not interfering with landscaping
- ❖ In accordance with Bylaw No. 1000, no net increase in the volume of runoff or decrease in water quality

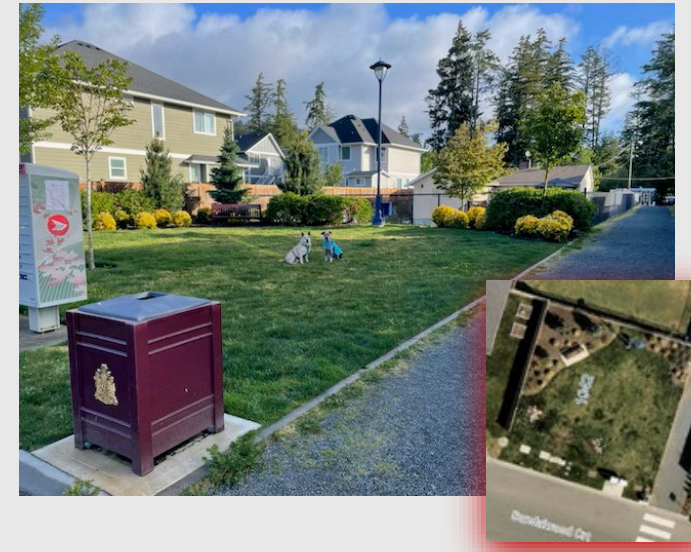
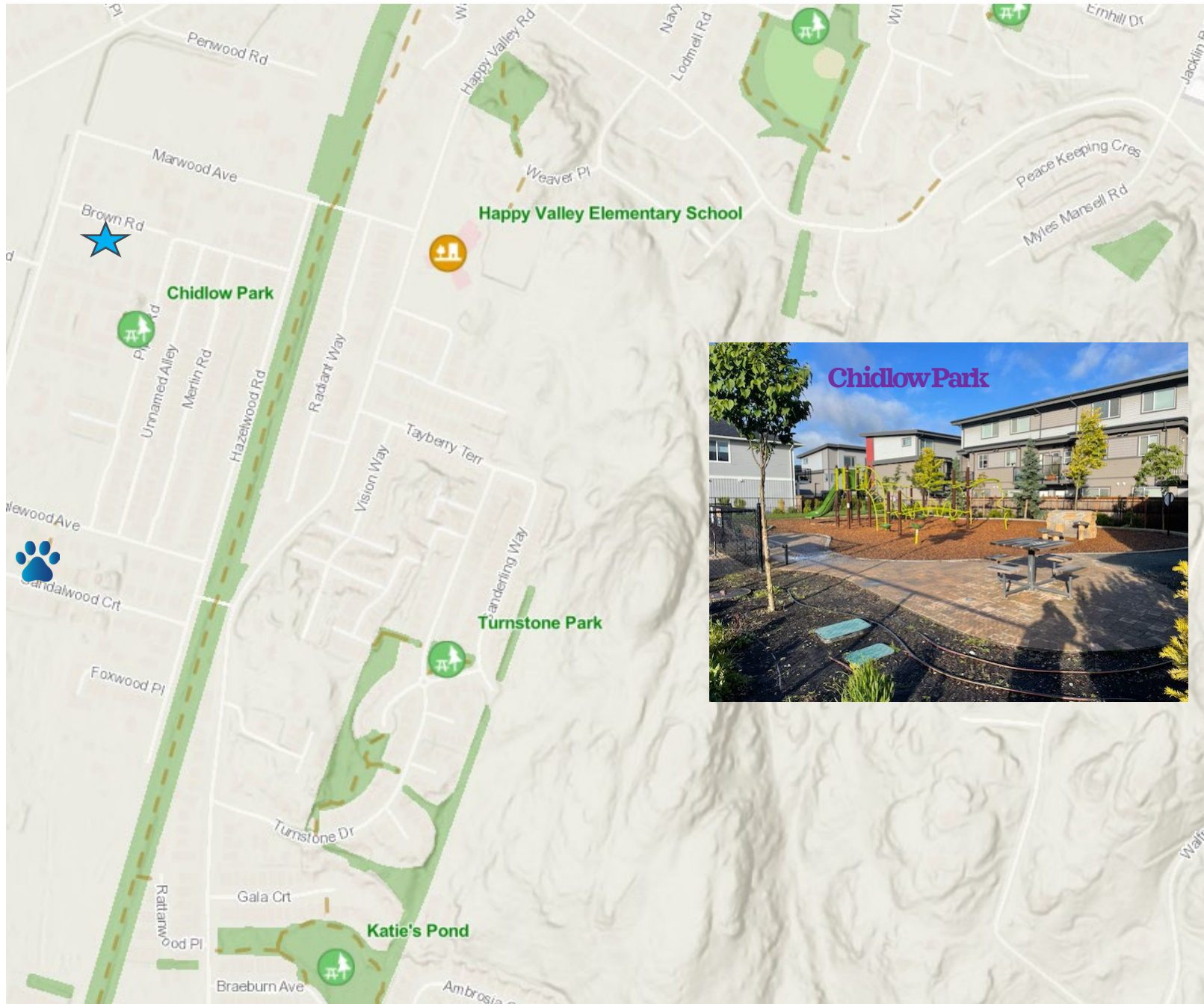


Climate Change Considerations

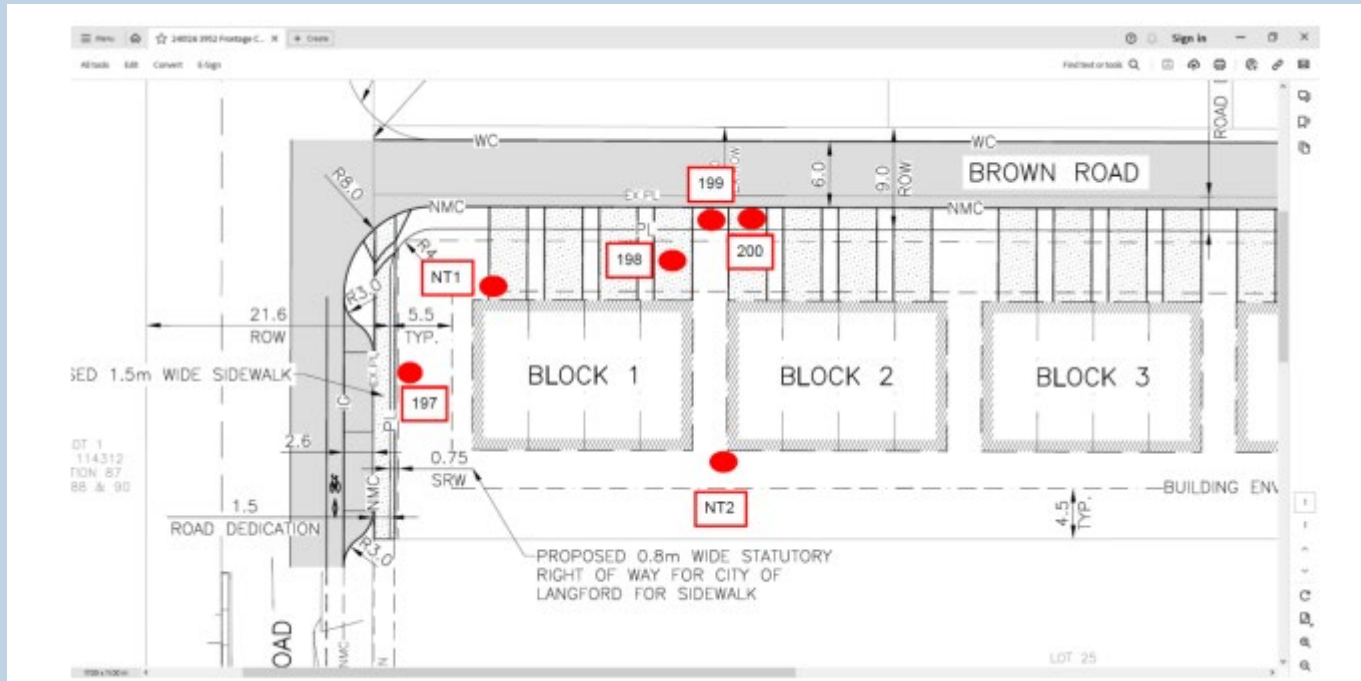
- ❖ Each garage will be roughed in for an EV charger.
- ❖ Heat pumps will be installed in each residential unit.
- ❖ Room for bicycle storage.
- ❖ Buildings to be constructed to Step 4 energy efficiency.
- ❖ Tree planting plan and landscaping approved by Planning Department at Development Permit (DP) stage. Shading and drought resistant plants will be considered.

Walkable or Bikeable to:

- Chidlow Park (brand new, located 125m to the south)
- Galloping Goose Trail (210m due east along Brown Road)
- Happy Valley School and Playground (400m east)
- Dog Friendly  play area 1042 Sandalwood Court (550 m south)



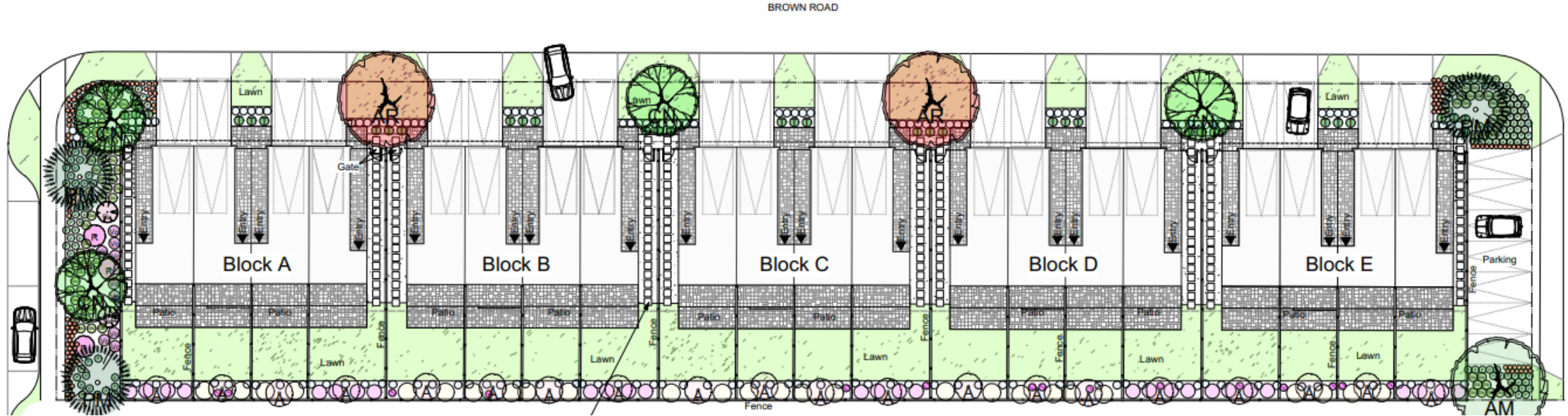
- ❖ Ash Mountain retained SouthShore Forest Consultants to complete a Basic Visual Tree Risk Assessment for the subject site
- ❖ Six (6) trees within the site will be impacted
 - ❖ Two spruce trees along Brown Frontage (#199 and #200 below)
 - ❖ One plum tree along Brown Road (#198 below)
 - ❖ One cypress (NT1 below; NT=No Tag)
 - ❖ One big leaf maple exhibiting “poor structure” (#197 below)
 - ❖ One plum in the proposed rear yards (NT2 below)



Tree Assessment Report

Summary:

- Six (6) trees impacted
- Parks Department has asked for cash in lieu for all boulevard trees
- Ten (10) new trees are proposed onto Strata/Private Land



TREE REPLACEMENT PLAN

- On the week of April 30th, 2024 Ash Mountain Construction mailed out an information letter to owner/occupants residing within a 100m radius of the subject site.
- The information letter included a Landscape Rendering, Conceptual Rendering and Floor Plans for the proposed townhome development.
- Residents were invited to contact the applicant by one of three options: email, telephone, or traditional mail to the Ash Mountain Construction office.
- ***To date there has been one email received the owner/occupants.***



Neighbourhood Consultation

Owner/Occupant
Unit # 3351 Luxton Road
Langford, BC V9C 0P2

April 30, 2024

Dear Owner/Occupant

Re: Rezoning Application Z24-003 3321 Luxton Road at Brown Road, Langford

We are contacting you today to inform you about a rezoning application that Ash Mountain Construction has submitted to the City of Langford Planning Department. The purpose of this letter is to provide information on the proposed project and receive any questions, comments or feedback you may have. A date for the rezoning application to be considered by the City of Langford's Sustainable Development Advisory Committee has yet to be determined, however we are asking for any feedback before June 5th, 2024 so that we may consider it in due course.

- A *Construction Parking Management Plan* will be submitted prior to Building Permit application for approval by the Engineering Department.
 - There is ample public parking nearby to accommodate workers including on Marwood Avenue at Luxton Road (115m away from the site). All subject to staff approval ahead of construction.
- Dust control and mud control practices will be in place. A *Sediment and Erosion Control Plan* will be submitted to the Engineering Department prior to Building Permit (BP)/with the Development Permit (DP).
- The City's *Noise Bylaw* will be adhered to.
- The site will not require significant earthworks such as blasting or deeper excavations. The buildings are all slab-on-grade construction.

Neighbourhood Consideration During Construction



Table 4 – Amenity Contributions per Council Policy

Amenity Item	Per unit	Total (based on 20 units)
<i>General Amenity Reserve Fund</i>	\$3,660	\$73,200
<i>Affordable Housing Reserve Fund</i>	\$610	\$12,200
TOTAL POLICY CONTRIBUTIONS	\$4,270	\$85,400

FINANCIAL AMENITIES

3321 Luxton Road



THANK YOU

QUESTIONS?



City of Langford

Staff Report to Sustainable Development Advisory Committee

DATE: Monday, July 8, 2024

DEPARTMENT: Planning

APPLICATION NO.: Z24-0011

SUBJECT: Bylaw No. 2188 – Application to amend the amenity contribution provisions for the property within MUE1 (Mixed-Use Residential 1) Zone located at 2787 Lakeview Terrace.

EXECUTIVE SUMMARY:

Rachael Sansom of Grayland Consulting has applied on behalf of First Mark Ventures Inc. to amend the amenity provisions (Sec. 6.53.03(2)(b) of Zoning Bylaw No. 300) of the Mixed-Use Employment 1 (MUE1) Zone for the subject property at 2787 Lakeview Terrace. The development has obtained a Development Permit for the construction of 15 townhome units, however, the project is being held up by the lump-sum amenity contribution that was expected to be for the large parcel directly to the north of the subject site. The applicant is proposing to pay amenity contributions in accordance with Council's current policy. This would be in addition to the lump sum amenity contributions already secured in the Zoning Bylaw No. 300, which will continue to be payable at the time of the development of the large neighbouring parcel. Additionally, this application gives Council the opportunity to secure requirements that align with the current objectives and have been implemented in recent rezoning applications.

BACKGROUND:

PREVIOUS APPLICATIONS

- On May 24th, 2014, Council adopted Bylaw No. 1507 which created the Mixed-Use Employment 1 (MUE1) Zone and rezoned various properties southwest of the Leigh Road Interchange to this new zone.
- In May 2016, Council adopted Bylaw No. 1661, which amended the Amenity Contribution Provisions for the MUE1 Zone, providing more options for satisfying the previously established amenity contribution.
- In December 2016, a Development Variance Permit (DVP16-0018) was issued amending DVP14-0010 such that all properties that are split-zoned MUE1 and either R2, R2A, or RR4, are subject to the same variances and conditions as DVP14-0010 (i.e. application to defer sewer servicing and to reduce minimum lot size).
- In March of 2018, an Environmental Development Permit No. DP18-0014 was issued, authorizing

the subdivision as well as land preparations on the subject property.

- In April of 2023, a Form and Character Development Permit No. DP22-0102 was issued which permitted the construction of a townhouse development containing 15 dwelling units.
- Following the original Form and Character Development Permit, an amendment DP23-0069 was issued in October of the same year for a small change in the layout of the site. The number of units remained consistent with the previous proposal.

Table 1: Site Data

<i>Applicant</i>	Rachael Sansom	
<i>Owner</i>	First Mark Ventures Inc.	
<i>Civic Address</i>	2787 Lakeview Terrace	
<i>Legal Description</i>	Lot 1, Section 85, Esquimalt District, Plan EPP108379, PID 031-430-006	
<i>Size of Property</i>	3542m ²	
<i>DP Areas</i>	Potential Habitat and Biodiversity	
<i>Zoning</i>	Existing: MUE1	Proposed: MUE1
<i>OCP Designation</i>	Existing: Mixed-Use Employment Centre, Neighbourhood	Proposed: Mixed-Use Employment Centre, Neighbourhood

SITE AND SURROUNDING AREA

The property is located in West Langford, north of Langford Lake, with a laneway access off Goldstream Avenue. The property is vacant and initial site clearing and grading has occurred in anticipation of future development under the existing environmental Development Permit. Clearing and grading is currently underway on the large parcel directly north of the subject property.

The proposed development is also located within the 800m of a Controlled Access Highway under the jurisdiction of the Ministry of Transportation and Infrastructure (MoTI) and is therefore subject to their review.

Figure 1: Subject Property and Surrounding Neighbourhood



Table 2: Surrounding Land Uses

	Zoning	Use
<i>North</i>	MUE1 (Mixed-Use Employment 1)	Land clearing and grading underway
<i>East</i>	MUE1 (Mixed-Use Employment 1) R2 (One- and Two-Family Residential)	Single-family residential
<i>South</i>	RL1 (Residential Lakeshore)	Lakefront single-family residential
<i>West</i>	MUE1 (Mixed-Use Employment 1) R2 (One- and Two-Family Residential)	Single-family residential

COUNCIL POLICY

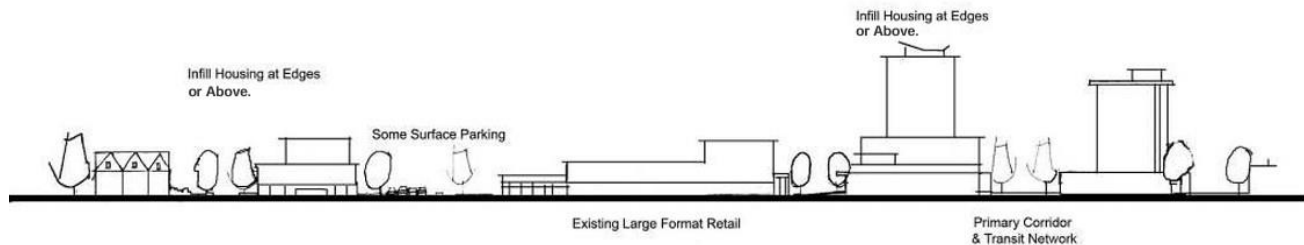
OFFICIAL COMMUNITY PLAN

The Official Community Plan (OCP) Bylaw No. 1200 designated the subject properties as “Mixed-Use Employment Centre”, which is defined by the following text:

- *A predominantly workplace precinct that includes business of all types including commercial, light industrial, and institutional*

- *An ideal location for creative or innovative infill housing (such as artisan live-work, mixed use buildings, etc.) that does not jeopardize the long-term function of the centre as an employment node*
- *Parks, public squares and open spaces are integrated throughout*
- *Centre is an inter-city and/or inter-regional transit hub that connects residents and employees*

A Concept for a Mixed-Use Employment Centre



DEVELOPMENT PERMIT AREAS

As mentioned, the subject property is located within the *Potential Habitat and Biodiversity* Development Permit Area. This designation was previously addressed through environmental Development Permit No. DP18-0014. An Environmental Impact Assessment prepared by a Registered Professional Biologist was secured through the Development Permit process, which provided site specific mitigation and remediation measures.

Additionally, the Form and Character Development Permit has been issued to permit the construction of 15 townhouse units within 4 blocks. To remain consistent with the townhouse developments that have been recently rezoned, Council may wish to take this opportunity to require that garages are to be used for parking of vehicles and not storage of items in a manner that would prevent utilization of the garage spaces for parking purposes. Council may wish to have the covenant registered in favor of the strata so that they are responsible for enforcing the covenant instead of the City.

LOW CARBON CONCRETE & HEAT PUMPS

Since the original rezoning of the subject property through the creation of the MUE1 zone in 2014, Council has adopted a new policy that would be applicable to the subject property today. In order to stay consistent with the City's environmental stewardship efforts and with the recently rezoned developments, Council may wish to take this opportunity to secure a covenant that requires the applicant to utilize ready-mix concrete that meets or exceeds the weighted average Global Warming Potential targets based on Concrete BC Baseline (average) mix data from the construction of the proposed development, in accordance with Council's Low Carbon Concrete Policy POL-0167-PLAN.

In the similar matter, Council may also wish to secure a requirement of mandating the use of heat pumps for heating and cooling, to remain consistent with the recent rezoning applications.

COMMENTARY:

DEVELOPMENT PROPOSAL

As noted above, the applicant has applied to amend the density contribution provisions for the subject property at 2787 Lakeview Terrace. Currently, the amenity contributions secured through Bylaw No. 1661 are applicable to all properties within the MUE1 zoning designation, which limits the residential density to 3 dwelling units for the entirety of the zone, unless the applicant provides the amenity contributions as per the Zoning Bylaw No. 300. Density contributions provisions secured through Bylaw No. 1661 for the entirety of the MUE1 zone are as follows:

(2) Despite Subsection 6.53.03(1), there may be more than three residential dwelling units and more than 150m² (1,615 ft²) of non-residential gross floor area in the Mixed-Use Employment 1 (MUE1) Zone, but not more than 92,900 m² (999,967.2 ft²) of gross floor area in Area A and not more than 204,386 m² (2,200,00 ft²) of gross floor area in Area B in the owner of the land proposed to be built upon has:

- a. Consolidated the lands that are within the MUE1 Zone;*
- b. Entered into an agreement with the City of Langford, to the satisfaction of Council, to provide to the City;*
 - (i) \$1,000,000 towards the City's General Amenity reserve fund; OR*
 - (ii) An alternative amenity with a demonstrable value equivalent to \$1,000,000; OR*
 - (iii) A transfer of 15% of the lands located within MUE1 Zone to the City of Langford; OR*
 - (iv) Some equivalent combination of (1) and/or (ii) and/or (iii);*

AND

- c. Provides a traffic impact study that analyzes the impact of the proposed development on the surrounding road network, and has entered into an agreement with the City of Langford with regards to required road dedication and off-site traffic improvements recommended by the traffic impact study, to the satisfaction of the Director of Engineering.*

Although the current prescribed amenity contributions are not specifically attributed to the large parcel to be developed north of the subject site, the idea at the time of rezoning was that large lump sum density amenity contributions would be secured with the development of the larger parcel, and the development of the smaller residual parcels would follow.

Currently, one of such smaller properties is ready to move forward with construction and would like to develop the property independently of the mixed-use development that is to occur to the north of the site. The applicant is proposing to pay amenity density contributions as per the Council's current policy, to be secured through this text amendment rezoning in Bylaw No. 2188.

It should be noted that amenity contribution provisions stipulated in Section 6.53.03(2) for the MUE1 zone would remain secured in the Zoning Bylaw No. 300 through Bylaw No. 1661 and would be payable with the first building permit for any other property zoned MUE1, excluding the subject site. As such, the amenity contribution provisions for this site would be in addition to what would be obtained with the development of the large parcel north of the site.

FINANCIAL IMPLICATIONS:

As mentioned previously, amenity contribution secured through Bylaw No. 2188 will be in addition to amenity contributions already secured through Bylaw No. 1661. A summary of Amenity Contributions and Development Cost Charges that the developer will be expected to pay, is outlined in Tables 4 and 5 below.

COUNCIL'S AMENITY CONTRIBUTION POLICY

The amenity contributions that apply as per Council's current Affordable Housing and Amenity Contribution Policy are summarized in Table 4 below, based the current floor plans and total density of 15 residential units.

Table 4 – Amenity Contributions per Council Policy

Amenity Item	Per unit contribution	Total (based on 15 units)
<i>General Amenity Reserve Fund</i>	\$3,660	\$54,900
<i>Affordable Housing Reserve Fund</i>	\$610	\$9,150
TOTAL POLICY CONTRIBUTIONS	\$4,270	\$64,050

Table 5 - Development Cost Charges

Development Cost Charge	Per Unit Contribution	Total (based on 15 units)
<i>Roads</i>	\$3,865	\$57,975

<i>Park Improvement</i>	\$1,948	\$29,220
<i>Park Acquisition</i>	\$130	\$1,950
<i>ISIF</i>	\$371.25	\$5,568.75
Subtotal (DCC's to Langford)	\$6,314.25	\$94,723.75
<i>CRD Water</i>	\$2,557	\$38,355
<i>School Site Acquisition</i>	\$900	\$14,400
TOTAL DCC's (estimated)	\$3,457	\$52,755

LEGAL IMPLICATIONS:

Should Council choose to proceed with consideration of Bylaw No. 2188, it will be scheduled for consideration of first, second and third readings. As per recent changes to the *Local Government Act*, a Public Hearing is not permitted.

The amenity contributions specified in Table 4 above are incorporated into Bylaw No. 2188 and will be payable at the time of building permit along with the current Development Cost Charges specified in the various DCC Bylaws.

Council's other conditions of approval would be registered in a Section 219 Covenant in priority of all other charges on title prior to consideration of Bylaw Adoption.

OPTIONS:

Option 1

THAT the Sustainable Development Advisory Committee recommend that Council:

1. Proceed with consideration of First, Second, and Third Reading of Bylaw No. 2188 to amend the amenity contributions for the property located at 2787 Lakeview Terrace, after the notification process has been completed, and subject to the following terms and conditions:
 - a. That the applicant provides, in lieu of the amenity contributions outlined in section 6.53.03(2)(b) of Zoning Bylaw No. 300, **as a bonus for increased density**, the following contributions per dwelling unit beyond the permitted density of three residential units, **prior to the issuance of a building permit**:
 - i. \$610 towards the Affordable Housing Reserve Fund; and
 - ii. \$3,660 towards the General Amenity Reserve Fund;

- b. That the applicant, **prior to Bylaw Adoption**, registers a Section 219 covenant in priority of all other charges on title, that agrees to the following:
 - i. That electric heat pumps will be installed in all townhouse units;
 - ii. That all concrete used on-site will utilize ready-mix concrete that meets or exceeds the weighted average Global Warming Potential targets based on Concrete BC Baseline (average) mix data, and that prior to the issuance of a Building Permit the applicant shall provide a Type III Environmental Product Declaration that is 3rd party verified specifying the total Global Warming Potential value and confirming that the proposed development meets the requirements of Low Carbon Concrete Policy POL-0167-PLAN;
 - iii. That a separate covenant be registered prior to issuance of a building permit for the proposed development agreeing that the garages are to be used for the parking of vehicles and not the storage of items preventing the parking of vehicles therein, in favour of the strata.

OR Option 2

THAT the Sustainable Development Advisory Committee recommend that Council take no action with respect to this application to amend the amenity contributions for the property at 2787 Lakeview Terrace under Bylaw No. 2188 until such time as the following items are addressed and reviewed by the Sustainable Development Advisory Committee:

- a. _____;
- b. _____;
- c. _____;

SUBMITTED BY: Anastasiya Mysak, Planner I

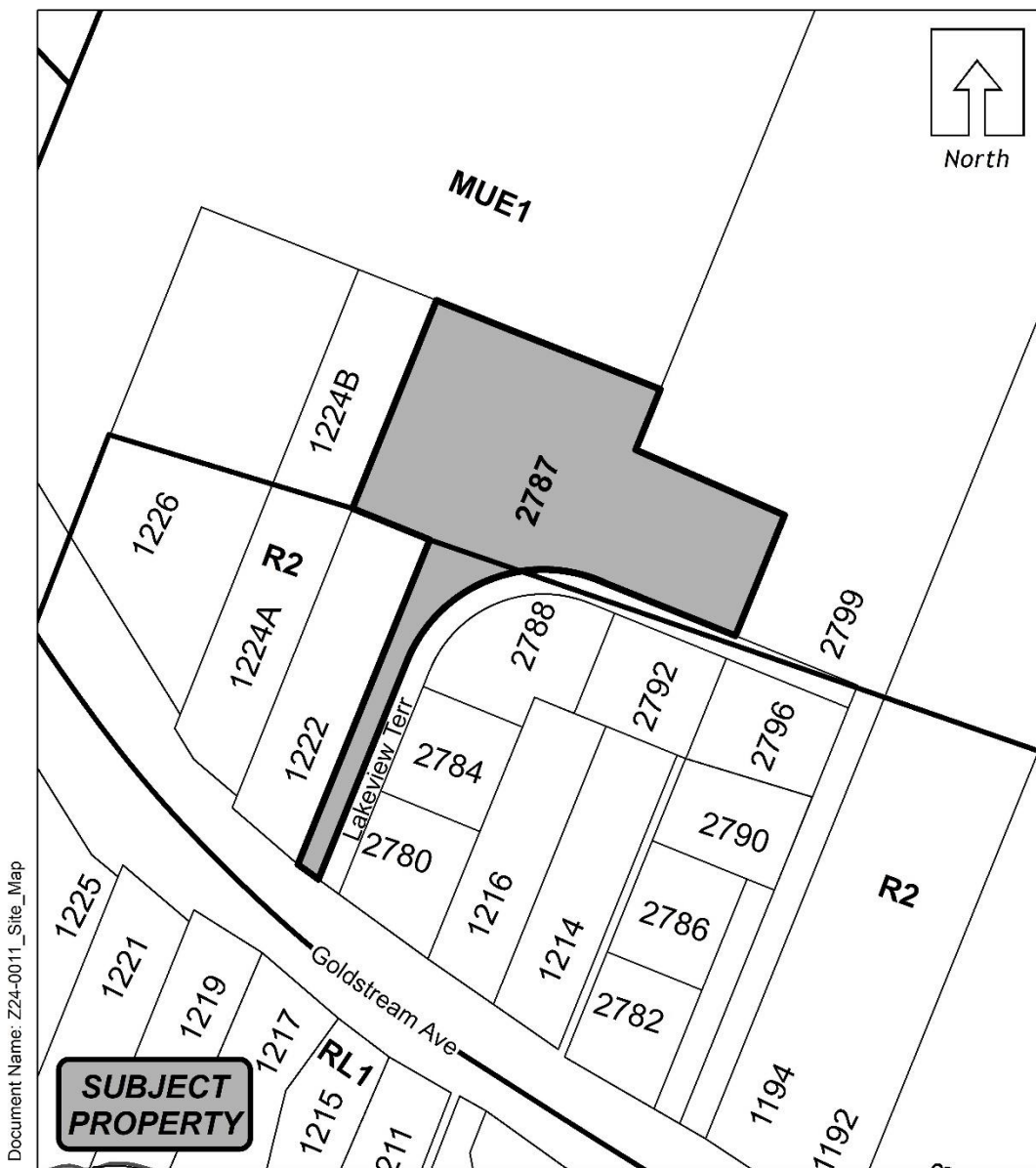
- Concurrence:** Matthew Baldwin, RPP, MCIP, Director of Development Services
- Concurrence:** Leah Stohmann, RPP, MCIP, Director of Community Planning and Climate Change
- Concurrence:** Donna Petrie, Senior Manager of Communications & Economic Development
- Concurrence:** Melisa Miles, Manager of Legislative Services
- Concurrence:** Yari Nielsen, Director of Parks, Recreation and Facilities
- Concurrence:** Katelyn Balzer, P.Eng., Director of Engineering and Public Works
- Concurrence:** Michael Dillabaugh, CPA, CA, Director of Finance
- Concurrence:** Marie Watmough, Director of Legislative & Protective Services
- Concurrence:** Braden Hutchins, Deputy Chief Administrative Officer
- Concurrence:** Darren Kiedyk, Chief Administrative Officer

Attachment(s):

Bylaw No. 2188

Appendix A – Site Map

**REZONING BYLAW AMENDMENT
(Z24-0011)
2787 Lakeview Terr**

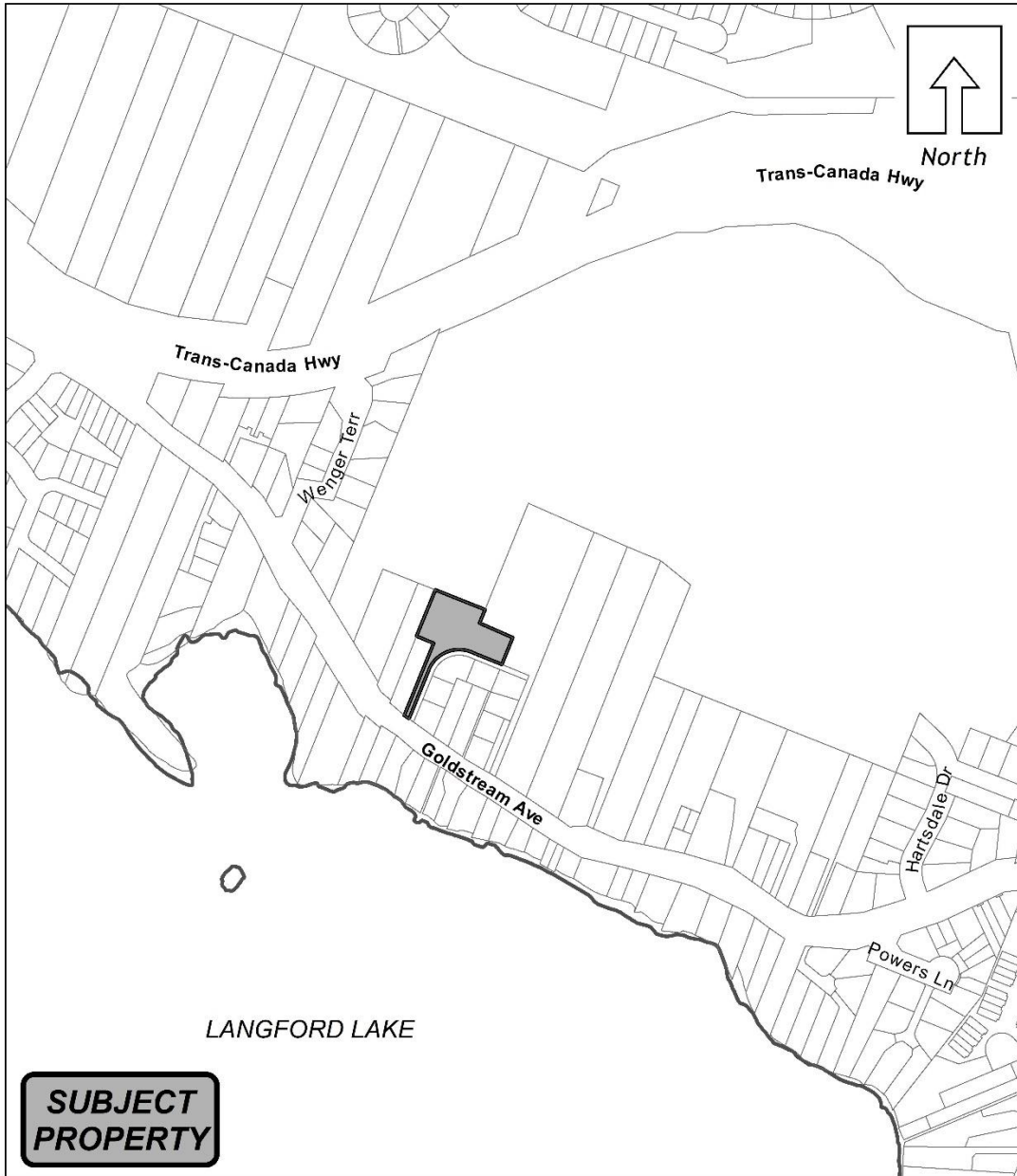


Scale: N.T.S.

Last Revised: 2024-06-12

Appendix B – Location Map

**REZONING BYLAW AMENDMENT
(Z24-0011)
2787 Lakeview Terr**



Document Name: Z24-0011_Location_Map

Scale: N.T.S.

Last Revised: 2024-06-12

CITY OF LANGFORD BYLAW NO. 2188

A BYLAW TO AMEND BYLAW NO. 300, "LANGFORD ZONING BYLAW, 1999"

The Council of the City of Langford, in open meeting assembled, hereby enacts as follows:

A. Langford Zoning Bylaw No. 300, 1999 is amended as follows:

1. By adding the following text as Section 6.53.03(7):

(7) Notwithstanding Subsection 6.53.03(2), on lands whose legal description is Lot 1, Section 85, Esquimalt District, Plan EPP108379, PID 031-430-006 (2787 Lakeview Terrace), the number of residential dwelling units can exceed three units, if the owner of the land proposed to be built upon:

a) Pays to the City the amount specified in Column 4 of Table 1 of Schedule AD, prior to issuance of a building permit.

2. By adding the following text to Table 1 of Schedule AD:

Zone	Bylaw No.	Legal Description	Amenity Contributions	Eligible for Reduction in Section 2 of Schedule AD
MUE1	2188	Lot 1, Section 85, Esquimalt District, Plan EPP108379, PID No. 031-430-006, (2787 Lakeview Terrace)	a) \$3,660 per residential unit created, beyond the first three residential units, towards the General Amenity Reserve Fund; and b) \$610 pe unit created, beyond the first three residential units, towards the Affordable Housing Reserve Fund	No

B. This Bylaw may be cited for all purposes as "Langford Zoning Bylaw, Amendment No. 728 (2787 Lakeview Terrace), Bylaw No. 2188, 2024".

READ A FIRST TIME this day of , 2024.

READ A SECOND TIME this day of , 2024.

READ A THIRD TIME this day of , 2024.

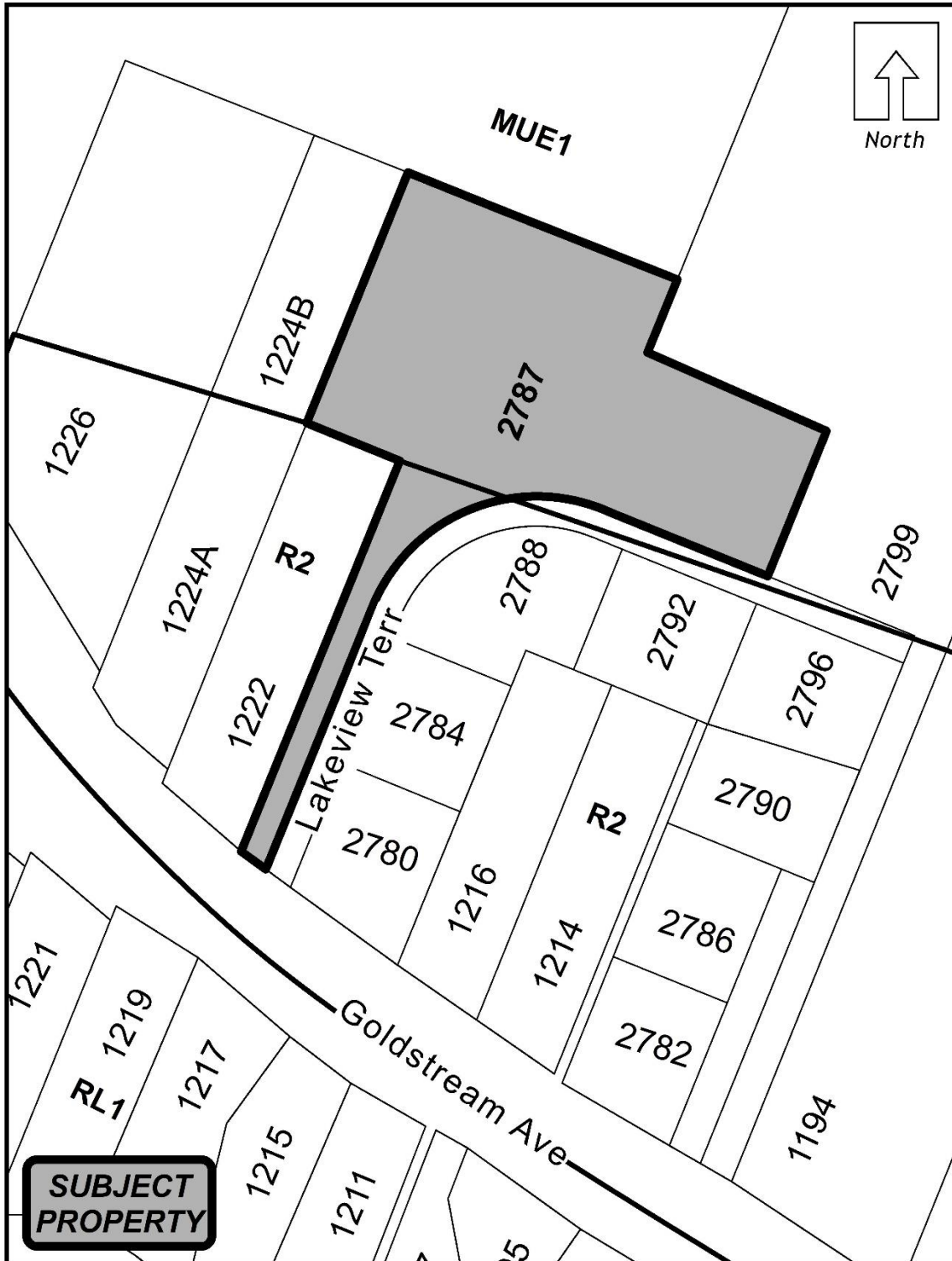
APPROVED BY THE MINISTRY OF TRANSPORTATION this day of , 2024.

ADOPTED this day of , 2024.

PRESIDING COUNCIL MEMBER

CORPORATE OFFICER

Schedule A



2787 Lakeview Terrace

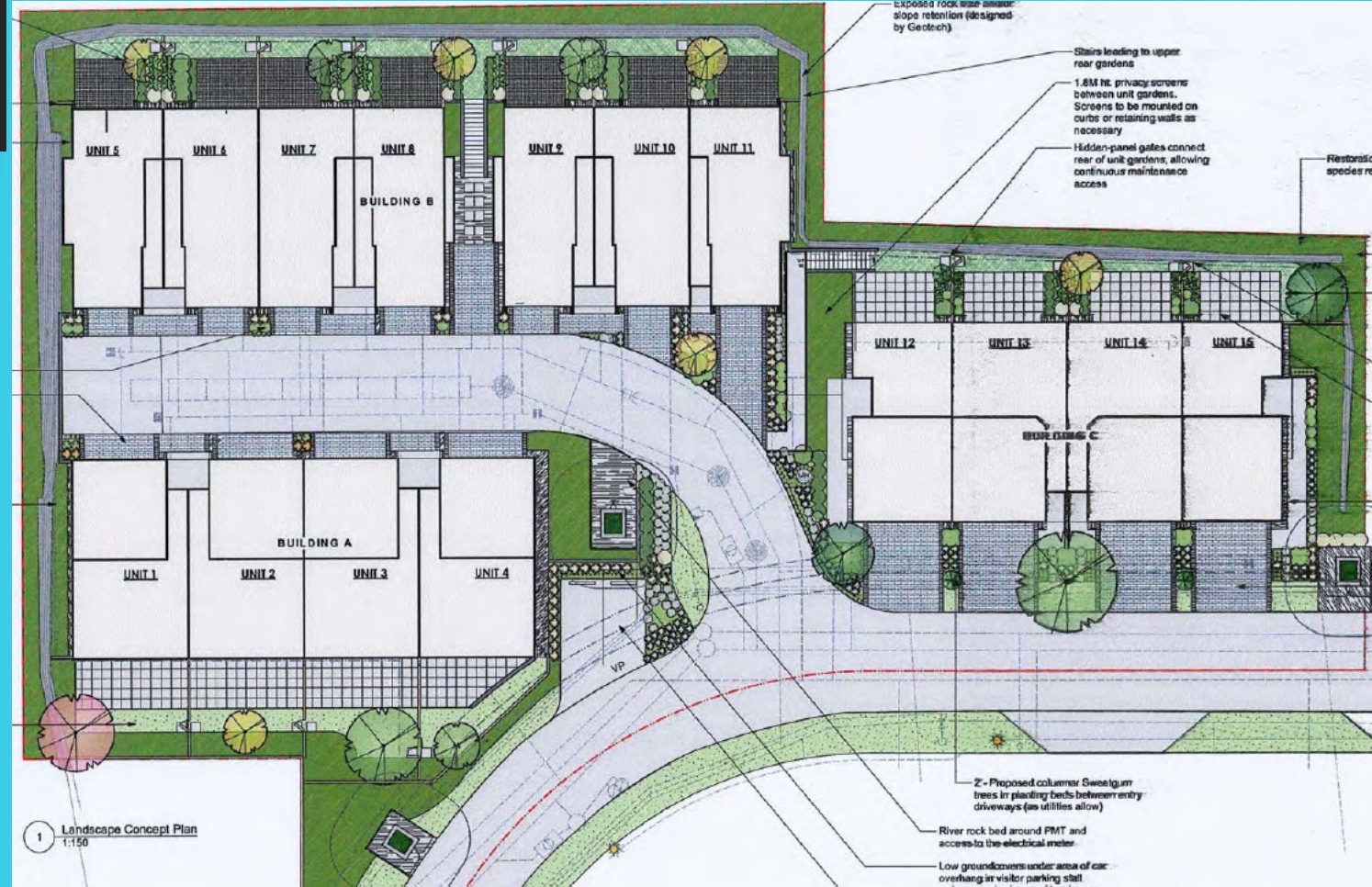
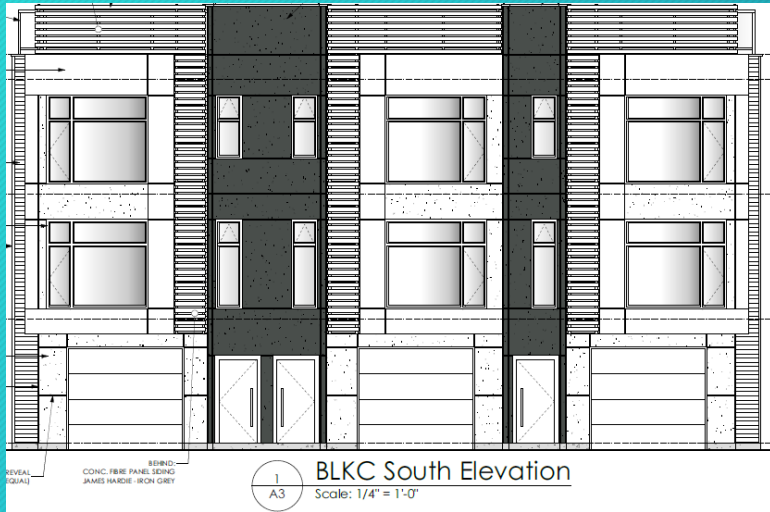
Text Amendment to the MUE1 Zone

SDAC July 8th 2024

Location

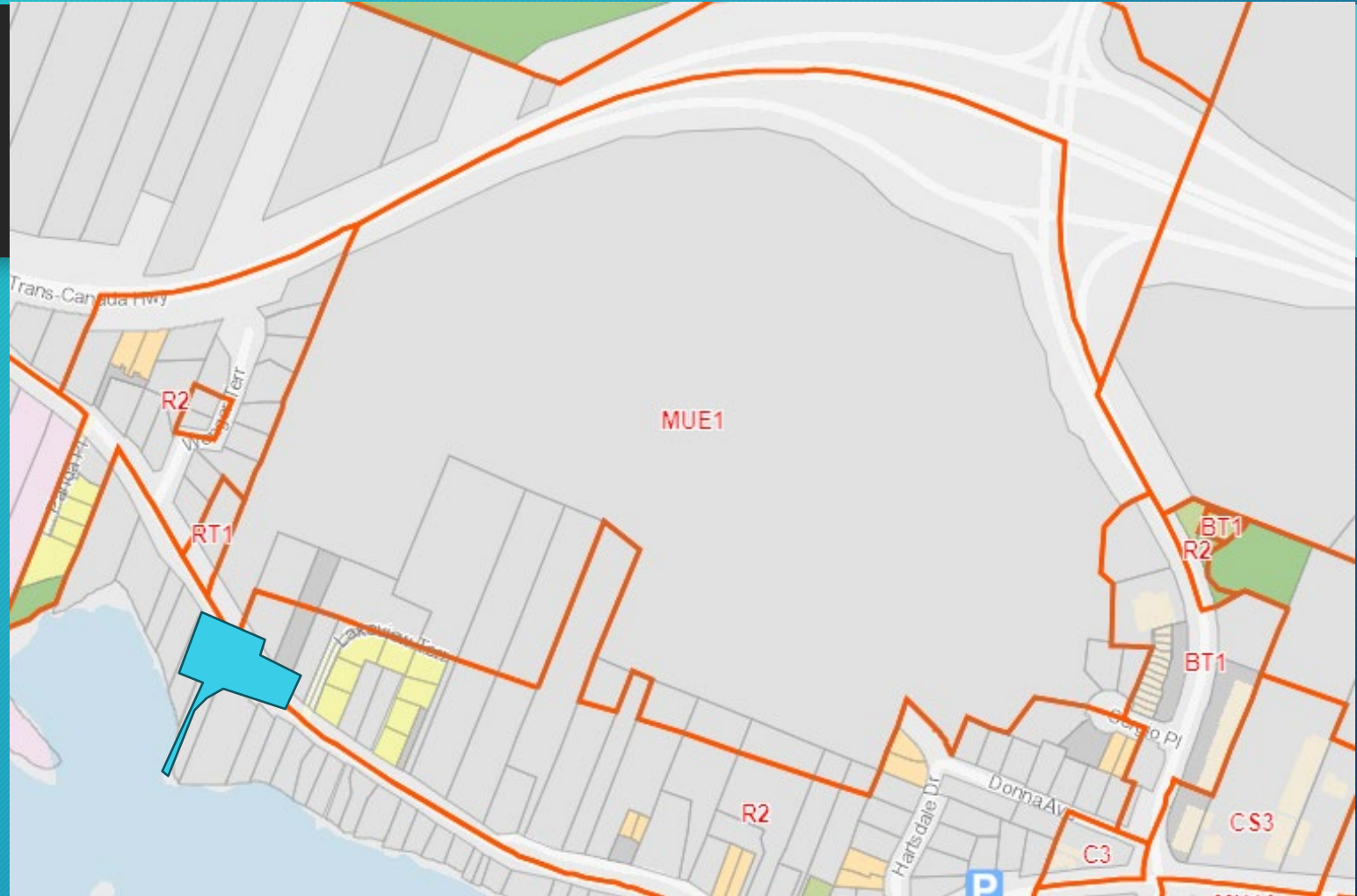


Townhomes (DP's Issued)



EXTERIOR FINISHES COLOUR SCHEME LEGEND	
	ACM PANEL SIDING COLOUR - ARCTIC WHITE (OR SIMILAR)
	FAUX WOOD 4" T&G METAL SIDING COLOUR - CEDAR (OR EQUIVALENT)
	FAUX WOOD 4" METAL SLATS COLOUR (TO MATCH T&G SIDING) - CEDAR (OR EQ.)
	FIBRE CEMENT PANEL SIDING COLOUR - IRON GRAY - JAMES HARDIE COLOUR
	FIBRE CEMENT PANEL SIDING COLOUR - ARCTIC WHITE - JAMES HARDIE COLOUR

MUE1 Zone



The MUE1 zone, at its inception, followed the OCP boundary leaving several remnant areas.

Purpose

To amend the MUE1 zone amenity contribution for this 15-unit townhouse site, to align with standard amenity requirements.

- Currently the zone requires that the prior to the issuance of the 4th dwelling building permit on the lands, the applicant must pay the amenity fee of \$1,000,000.
- The amenity contribution was intended to apply to the larger Mixed Use Employment centre use on the large parcel to the north, not the small remnant parcels.
- There is no timeline for a development application in the larger development lands. This applicant wishes to get building ASAP.
- If this text amendment is approved, it will not change the amenity obligations for the larger development area.

Alignment with Current Townhome Approvals

- Electric heat pumps will be installed in all townhouse units;
- All concrete used on-site will utilize ready-mix concrete that meets or exceeds the weighted average Global Warming Potential targets based on Concrete BC Baseline (average) mix data;
- A separate covenant be registered prior to issuance of a building permit for the proposed development agreeing that the garages are to be used for the parking of vehicles and not the storage of items preventing the parking of vehicles therein, in favour of the strata.

2787 Lakeview Terrace

Thank you!